STOKKE RESIDENCE



A1.0	ENLARGED AREA OF WORK - BASEMENT
A1.1	ENLARGED AREA OF WORK - MAIN FLOOR
A1.2	ENLARGED AREA OF WORK - ROOF PLAN
A2.0	EXTERIOR ELEVATIONS (partial)

5005 88TH AVE SE MERCER ISLAND, WA 98040

STOKKE RESIDENCE

CONTACT INFORMATION

<u>OWNER</u>

JOHN & SHANNON STOKKE 5005 88TH AVE SE MERCER ISLAND, WA 98040 (206) 852-8309 - phone johns@bmgigroup.com - email shannon.stokke@gmail.com

ARCHITECT RYAN RHODES DESIGNS, INC. CONTACT: CHRISTINE GREENE 303 NICKERSON ST SEATTLE, WA 98109 (206) 632-1818 - phone christine@ryanrhodesdesigns.com - email STRUCTURAL ENGINEER L120 ENGINEERING & DESIGN CONTACT: MÅNS THURFJELL 13150 91ST PL NE KIRKLAND, WA 98034 (425) 636-3313 - phone mthurfjell@L120engineering.com - email **GENERAL CONTRACTOR** EAKMAN CONSTRUCTION CONTACT: STACY EAKMAN 9226 ROOSEVELT WAY NE SEATTLE. WA 98115 (206) 972-2275 - phone stacy@eakmanconstruction.com - email WA STATE LICENSE #: EAKMAC 881N4

PROJECT INFORMATION

PERMIT #:		LOT SIZE:	40,791.13 SF	LOT SLOPE
ADDRESS:	5005 88TH AVE SE	COVERAGE:	SEE DIAGRAM	
TAX ID NO.:	192405-9140	IMPERVIOUS SURFACE:	SEE DIAGRAM	
LEGAL DESCRIPTION:	BEG AT PT 450 FT N OF SE COR OF NW 1/4 OF NW 1/4 TH N 89-24-27 W 200 FT TH N 00-02-18 E TO N LN OF S 1/2 OF SD SUBD TH S 89-09-50 F 200 FT TH S 00-02-18 W 203 54 FT TO BEG	HEIGHT LIMIT:	30 feet ABE; NO CHANGE TO EXISTING	DIFFERENCE E
SCOPE:	REPLACE EXISTING DECK w/ NEW DECK	SETBACKS;		71.08/187.5
ZONING:	R-9.6	SIDE YARDS:	20 feet 5 feet min each; both side yards combined cannot exceed 17% of lot width (200 ft) = 34 feet	
HEATING:	GAS	REAR YARD:	25 feet	





ENERGY CODE:

CALCULATIONS:

POINT: 299.49 FT OINT: 228.40 FT

ICE = 71.08 FT

BTWN HIGHEST & LOWEST POINTS = 187'-6"

5 = 37.9% LOT SLOPE

INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT					
Washington State Energy Codes (2018 Edition) : Table R402.1.1 and Table R402.1.3 Prescriptive Requirements for Group R Occ, Climate Zone 5 & Marine 4					
Component	R-Value	U-Factor			
Fenestration U-Factor	n/a	0.30			
Skylight U-Factor	n/a	0.50			
Ceiling	49 (38 vaulted)	0.026			
Above Grade Wall - Wood Framed	21 int	0.056			
Floor	30	0.029			
Below Grade Wall	10/15/21 int + 5TB	0.042			
Slab R-Value & Depth	10, 2 ft	n/a			

TABLE R402.1.1

Footnote (c): '10/15/21 int + 5TB" means R-10 continuous insulation on the exterior of the wall, or R-15 on the continuous insulation on the interior of the wall, or R-21 cavity insulation plus a thermal break between the slab and the basement wall at the interior of the basement wall. "10/15/21 int + 5TB" shall be permitted to be met with R-13 cavity insulation on the interior of the basement wall plus R-5 continuous insulation on the interior or exterior of the wall. "5TB" means R-5 thermal break between floor slab and basement wall.



LOT COVERAGE DIAGRAM 1" = 40'-0"

SFR DEVELOPMENT STANDARDS:

19.02.020.D.1.b - Gross Floor Area R-9.6: 8,000 sf or 40% of lot area, whichever is less; *measured from exterior facing of framing

• 8,000 sf allowable gross floor area

- EXISTING BASEMENT - 1685.42 sf - EXISTING MAIN LEVEL - 2293.51 sf

(total GSF 3,978.93) / (total lot area 40,791.13 sf) = 9.75% GSF of total lot area

19.02.020.F.3.a - Landscaping Requirement

• For lots with a slope btwn 30-50% ==> 30% maximum lot coverage (house, driving surfaces, and accessory structures)

• 30% * (total lot area 40,791.13 sf) = 12,237.34 sf allowable lot coverage

- EXISTING HOUSE ROOF - including gutters & fascias - (minus removed 15.87) = 3001.67 sf - EXISTING DRIVEWAY - 2468.35 sf - NEW ROOF OVER DECK - 334.31 sf (includes gutters, fascias, skylights)

(total lot coverage 5,814.33 sf / (total lot area 40,791.13 sf) = 14.25% total lot coverage

Required Landscaping Area - 70%

• 70% * (total lot area 40,791.13 sf) = 28,553.79 sf required landscaping area

19.02.020.F.3.b - Hardscape

• Maximum of 9% of total lot area may consist of hardscape improvements including, but not limited to, walkways, decks, etc.,

- 9% * (total lot area 40,791.13 sf) = 3,671.20 sf allowable
- EXISTING DECK (not covered by main house roof) 26.27 sf
- EXISTING ENTRY PAVERS (not covered by main house roof) 161 sf - EXISTING AGGREGATE - 362.48 sf
- (remaining aggregate not covered by new roof over deck; includes site steps) EXISTING SITE STEPS (to yard from aggregate patio) - 20.79 sf
- EXISTING BOULDERS @ deck 170.87 sf
- EXISTING SPORT COURT 1216.67 sf

(total hardscape 1,958.08 sf) / (total lot area 40,791.13 sf) = 4.8% total hardscape

TABLE 406.2 ENERGY CREDITS:

*ALTERATIONS DO NOT NEED TO OBTAIN ENERGY CREDITS FROM TABLE R406.2 PER SECTION R501; EXISTING BUILDINGS

> EXTERIOR DECK & SITE ALTERATIONS, ONLY. NO WORK TO EXISTING BUILDING ENVELOPE

VICINITY MAP:

GENERAL NOTES:

- the date of submission or bid unless the document is shown dated.
- A copy of the approved plan must be on site whenever construction is in progress.
- which may be affected by the implementation of this plan.
- construction.
- may be needed to protect adjacent properties.

- Interpretations: • These documents are in part diagrammatic and subject to interpretation. work may affect any particular installation.
- These must be ascertained by the contractor and correlated to bring the parts together as a completed whole.
- Dimensions:

PROJECT NOTES:

CARBON MONOXIDE & SMOKE DETECTOR NOTES:

- All new detectors to be COMBINATION smoke AND carbon monoxide detectors. • All new detectors to be hard-wired with battery back-up.
- Detectors shall be installed in accordance with the approved manufacturer's
- instruction and in accordance with UL217 and NFPA 72. Detectors shall be interconnected such that when one alarm is activated all remaining alarms are activated.
- STAIR NOTES:
- Walls and soffits of enclosed usable space underneath the stair shall be protected
- on the enclosed side as required for one-hour fire-resistive construction. • Guardrails shall be no less than 36 inches in height with a maximum spacing
- between intermediate rails to prevent passage of 4-inch sphere. • Handrails shall be continuous, located between 34"-38" above stair nosing with
- grasp dimensions between 1.25" and 2". Handrails shall terminate at either a newel post or safety terminal • Treads shall be a minimum of 10" deep and risers shall be a maximum of 7-3/4" high. Clear space between open risers shall be 3 7/8" maximum.
- Stairways shall have a minimum clear width of 36" and ceilings shall be a minimum of 6'-8" vertically above nosing • Outdoor stairs and their approaches shall be designed so that water will not accumulate on walking surfaces

GLAZING NOTES:

- Window schedule is for planning purposes only. GC to verify Locations, Rough Openings, Swing Directions and Lamination / Tempering requirements prior to fabrication.
- U-factors of fenestration products (windows, doors and skylights) shall be determined in accordance with NFRC 100 by an accredited, independent laboratory, and labeled and certified by the manufacturer. • Provide Laminated / Tempered glazing per code at the following locations: • Windows/sidelights where the nearest vertical edge is within a 24" arc of the
- door and whose bottom edge is less than 60" above the nearest walking surface; • Glazing that is 18" or less above adjacent walking surface;
- Sloped glazing acting as skylights; · All other locations required by applicable codes

PROJECT/CODE SUMMARY:

2018 INTERNATIONAL RESIDENTIAL CODE 2018 INTERNATIONAL FIRE CODE 2018 INTERNATIONAL MECHANICAL CODE

5005 88th Ave SE MERCER ISLAND, WA 98040







QUARTER OF SECTION 19, TOWNSHIP 24 NORTH, RANGE 5 EAST, W.M., IN KING COUNTY, WASHINGTON DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHEAST CORNER OF SAID SUBDIVISION; THENCE NORTH 0'02'18" EAST ALONG THE EASTERLY LINE THEREOF 450.00 FEET TO THE TRUE POINT OF BEGINNING; THENCE NORTH 89'24'27" WEST 140.00 FEET; THENCE NORTH 0"02'18" EAST PARALLEL WITH THE EASTERLY LINE OF SAID SUBDIVISION 204.135 FEET; THENCE SOUTH 89'09'50" EAST 140.00 FEET TO THE EASTERLY LINE OF SAID SUBDIVISION; THENCE SOUTH 0'02'18" WEST ALONG SAID EASTERLY LINE 203.54 FEET TO THE TRUE POINT OF BEGINNING. PARCEL B: THE EAST 60 FEET OF THAT PORTION OF THE SOUTH HALF OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 19, TOWNSHIP 24 NORTH, RANGE 5 EAST, W.M., IN KING COUNTY, WASHINGTON DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF SAID SUBDIVISION; THENCE NORTH 0'02'18" EAST ALONG THE EASTERLY LINE THEREOF 450.00 FEET; THENCE NORTH 89"24'27" WEST 140.00 FEET TO THE TRUE POINT OF BEGINNING; THENCE NORTH 89"24'27" WEST 660.00 FEET; THENCE NORTH 0"02'18" EAST PARALLEL WITH THE EASTERLY LINE OF SAID SUBDIVISION 205.24 FEET; THENCE SOUTH 89"09'50" EAST 260.00 FEET; THENCE SOUTH 0"02'18" WEST 204.135 FEET TO THE TRUE POINT OF BEGINNING. PARCEL C: AN EASEMENT FOR ROAD PURPOSES OVER THE EAST 30 FEET OF THE SOUTH 400 FEET OF THE SOUTH HALF OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER, AN8 OVER THE 40 FEET OF THE NORTH 50 FEET OF THE SOUTH 450 FEET OF

SITUATE IN THE CITY OF MERCER ISLAND, COUNTY OF KING, STATE OF WASHINGTON.

BASIS OF BEARINGS

RECORD OF SURVEY BY AXIS SURVEY AND MAPPING FOR JOHN STOKKE AS RECORDED UNDER RECORDING NUBMER 20100826900002, RECORDS OF KING COUNTY, WASHINGTON.

PROJECT INFORMATION

SURVEYOR:

PROPERTY OWNER:

SAID SUBDIVISION.

TAX PARCEL NUMBER:

ZONING:

PROJECT ADDRESS:

JURISDICTION: PARCEL ACREAGE: 21923 NE 11TH ST SAMMAMISH, WA 98074 PHONE: 425.298.4412 JOAHN + SHANNON STOKKE 5005 88TH AVENUE SE MERCER ISLAND, WA 98040 192405-9140

SITE SURVEYING, INC.

5005 88TH AVENUE SE MERCER ISLAND, WA 98040 R-9.6 CITY OF MERCER ISLAND 40,791 S.F. (± 0.936 ACRES) AS SURVEYED

VERTICAL DATUM & CONTOUR INTERVAL

DATUM.

DATUM

2.0' CONTOUR INTERVAL - THE EXPECTED VERTICAL ACCURACY IS EQUAL TO 1/2 THE CONTOUR INTERVAL OR PLUS / MINUS 1.0' FOR THIS PROJECT.

ELEVATIONS SHOWN ON THIS DRAWING ARE ON AN ASSUMED

GENERAL NOTES

- 1. THIS SURVEY WAS COMPLETED WITHOUT BENEFIT OF A CURRENT TITLE REPORT. EASEMENTS AND OTHER ENCUMBRANCES MAY EXIST ON THIS PROPERTY THAT ARE NOT SHOWN HEREON.
- 2. INSTRUMENTATION FOR THIS SURVEY WAS A 3-SECOND NIKON NIVO 5.C TOTAL STATION. PROCEDURES USED IN THIS SURVEY MEET OR EXCEED STANDARDS SET BY WAC 332-130-090.
- 3. THE INFORMATION ON THIS MAP REPRESENTS THE RESULTS OF A SURVEY MADE IN MARCH 2018 AND CAN ONLY BE CONSIDERED AS INDICATING THE GENERAL CONDITIONS EXISTING AT THAT TIME.
- 4. UTILITIES SHOWN ON THIS SURVEY ARE BASED UPON ABOVE GROUND OBSERVATIONS AND AS-BUILT PLANS WHERE AVAILABLE. ACTUAL LOCATIONS OF UNDERGROUND UTILITIES MAY VARY AND UTILITIES NOT SHOWN ON THIS SURVEY MAY EXIST ON THIS SITE.
- 5. ALL MONUMENTS WERE LOCATED DURING THIS SURVEY UNLESS OTHERWISE NOTED.



Γ

W 1/4, SEC 19, TWP 24N, RNG 5E, W.M.	Surveying. Inc.	ww.sitesurveymapping.com 21923 NE 11th Street Sammamish, WA 98074 Phone: 425.298.4412
NW 1/4, NV	MOHL PROTOCOL	M
	DATE REVISION DRN	
	TOPOGRAPHIC SURVEY JOHN + SHANNON STOKKE 5005 88TH AVENUE SE MERCER ISLAND, WA 98040	© 2018, SITE SURVEYING, INC., ALL RIGHTS RESERVED
	PROJECT NO.18-082DRAWN BY: CHECKED BY: DATE:EFJ TNW 3/21/18SHEET1OF1	



VICINITY MAP



GENERAL PLAN NOTES:

1. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN PARTITION LOCATIONS, DIMENSIONS AND TYPES. DOOR AND WINDOW LOCATIONS SHALL BE AS SHOWN ON CONSTRUCTION PLAN. IN CASE OF CONFLICT, NOTIFY ARCHITECT FOR WRITTEN CLARIFICATION PRIOR TO PROCEEDING WITH CONSTRUCTION. COMMENCEMENT OF WORK SHALL BE DEEMED AS THE GC'S ACKNOWLEDGMENT OF ALL WORK TO COMPLETE PROJECT IN CONFORMANCE WITH CONTRACT DOCUMENTS AND SCHEDULE. 2. GENERAL CONTRACTOR TO REVIEW ALL DOCUMENTS AND VERIFY ALL DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT WORK IS 1) BUILDABLE AS SHOWN IN DRAWINGS. ANY CONFLICTS OR OMISSIONS SHALL BE IMMEDIATELY REPORTED TO THE ARCHITECT FOR \smallsetminus CLARIFICATION PRIOR TO PROCEEDING WITH WORK IN QUESTION OR ORDERING MATERIALS FOR WORK. 3. JOB SITE SHALL BE KEPT CLEAN AND SAFE DURING ALL PHASES OF CONSTRUCTION. 4. PROTECT BUILDING FROM WATER DAMAGE DURING ALL PHASES OF CONSTRUCTION. existing site steps to remain 5. GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY UTILITIES, NOT COVERED IN THE CONSTRUCTION/ DEMOLITION DOCUMENTS, WHICH MAY INTERFERE WITH COMPLETING THE WORK. WHEN REMOVAL IS APPROVED BY THE ARCHITECT, GENERAL CONTRACTOR SHALL INSPECT, TEST, AND DISCONNECT THE SPECIFIED UTILITY, CUT BACK TO SOURCE AND CAP. _ _ _ i_____-6. ALL PARTITIONS ARE DIMENSIONED FROM FACE OF FRAMING, UNLESS OTHERWISE NOTED. 7. ALL DIMENSIONS MARKED "CLEAR" OR "CLR" SHALL BE MAINTAINED AND SHALL ALLOW FOR THICKNESS OF ALL FINISHES INCLUDING FLOOR FINISHES. 8. DIMENSIONS SHOWN AS V.I.F. SHALL BE VERIFIED BY THE CONTRACTOR IN THE FIELD. CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DISCREPANCY IN DIMENSIONS PRIOR TO PROCEEDING WITH THE WORK IN THAT AREA. 9. "ALIGN" SHALL MEAN ACCURATELY LOCATE FINISH FACES IN THE SAME PLANE. 10. "TYPICAL" OR "TYP" SHALL MEAN THAT THE CONDITION IS REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT, UNLESS **NO WORK HERE** OTHERWISE NOTED. DETAILS ARE USUALLY KEYED AND NOTED "TYP" ONLY ONCE, WHEN THEY FIRST OCCUR. 11. "SIMILAR" OR "SIM" MEANS COMPARABLE CHARACTERISTICS FOR THE CONDITIONS NOTED. 12. VERIFY DIMENSIONS AND ORIENTATION ON PLANS AND ELEVATIONS. 13. WORK AREAS TO REMAIN SECURE AND LOCKABLE DURING CONSTRUCTION. THE GENERAL CONTRACTOR SHALL COORDINATE WITH OWNER TO ENSURE SECURITY. 14. COORDINATE AND PROVIDE BACKING FOR MILLWORK AND ITEMS ATTACHED OR MOUNTED TO WALLS OR CEILINGS. 15. ALL MECHANICAL AND ELECTRICAL SCOPE OF WORK IS DESIGN/BUILD BY RESPECTIVE SUBCONTRACTORS. FIXTURE, GRILLE, SWITCH, AND OUTLET LOCATIONS SHOULD BE CONSIDERED DURING FRAMING - AND FINAL LOCATIONS SHOULD BE APPROVED BY ARCHITECT PRIOR TO INSTALLATION. (2)







303 Nickerson Street | Seattle, WA ryanrhodesdesigns.com | 206.632.1818

GENERAL PLAN NOTES:

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2)-

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12044

GENERAL PLAN NOTES:

1. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN PARTITION LOCATIONS, DIMENSIONS AND TYPES. DOOR AND WINDOW LOCATIONS SHALL BE AS SHOWN ON CONSTRUCTION PLAN. IN CASE OF CONFLICT, NOTIFY ARCHITECT FOR WRITTEN CLARIFICATION PRIOR TO PROCEEDING WITH CONSTRUCTION. COMMENCEMENT OF WORK SHALL BE DEEMED AS THE GC'S ACKNOWLEDGMENT OF ALL WORK TO COMPLETE PROJECT IN CONFORMANCE WITH CONTRACT DOCUMENTS AND SCHEDULE.

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(2)-





SKYLIGHT SCHEDULE							
facturer	Model No.	Glazing Type	U-Value	Operation	Description	Comments	
ELUX	CG24949	polycarb or acrylic	N/A	fixed	acrylic dome curb skylight	match color to existing house skylights	
ELUX	CG24949	polycarb or acrylic	N/A	fixed	acrylic dome curb skylight	n	
ELUX	CG24949	polycarb or acrylic	N/A	fixed	acrylic dome curb skylight	n	



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12044







3 NEW ROOF TO EXISTING DTL 3" = 1'-0"









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03/03/2021 sheet A3.0 number

STOKKE RESIDENCE S201117-6



PROJECT INFORMATION

<u>ARCHITECT</u> RYAN RHODES DESIGNS 303 NICKERSON STREET SEATTLE, WA 98109 PHONE: (206) 632-1818

STRUCTURAL ENGINEER L120 ENGINEERING & DESIGN 13150 91ST PL NE KIRKLAND, WA 98034 PHONE: (425) 636-3313 EMAIL: MTHURFJELL@L120ENGINEÉRING.COM CONTACT: MANS THURFJELL, PE





REVISIONS △ DESCRIPTION DATE BY

-

PROJECT NAME

STOKKE RESIDENCE

PROJECT NUMBER S201117-6

DRAWN BY - MR

CHECKED BY - MRT

SHEET DATE - 3/3/2021

SCALE

24X36 SHEET:1/4"=1'-0"

SHEE S-0 COVER

ENGINEERED PER:

CODES

2018 (IRC) INTERNATIONAL RESIDENTIAL CODE 2018 (IBC) INTERNATIONAL BUILDING CODE

SHEET INDEX

COVER SHEET...S-0 STRUCTURAL GENERAL NOTES...S-1 FOUNDATION PLAN...S-2 DECK FRAMING PLAN...S-3 ROOF FRAMING PLAN...S-4

STRUCTURAL DETAILS...SD-1

GENERAL STRUCTURAL NOTES

DESIGN CRITERIA

CODE: 2018 IBC/IRC & AMENDMENTS AS ADOPTED BY THE REVIEWING AGENCY/COUNTY. ROOF25 PSF SNOW (GROUND)

FLOORS RESIDENTIAL. ..40 PSF

BALCONY/DECK. ..60 PSF

BASIC WIND SPEED ..110 MPH, EXPOSURE B SEISMIC

 •	
MAPPED SPECTRAL ACCELERATION, Ss	1.297
MAPPED SPECTRAL ACCELERATION, S1	<u>0.497</u>
SOIL SITE CLASS	D

GENERAL CONDITIONS

- 1. THE CONTRACTOR SHALL EXAMINE THE STRUCTURAL DRAWINGS AND SHALL NOTIFY THE STRUCTURAL ENGINEER OF ANY DISCREPANCIES HE MAY FIND BEFORE PROCEEDING WITH THE WORK.
- 2. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS AND SITE CONDITIONS BEFORE STARTING WORK. THE ARCHITECT/ENGINEER SHALL IMMEDIATELY BE NOTIFIED IN WRITING OF ANY DISCREPANCIES
- 3. ALL OMISSIONS OR CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND THE STRUCTURAL ENGINEER BEFORE PROCEEDING WITH ANY WORK SO INVOLVED
- 4. IN CASE OF CONFLICT, NOTES AND DETAILS OF THESE STRUCTURAL DRAWINGS SHALL TAKE PRECEDENCE OVER THE "GENERAL NOTES" AND/OR "STANDARD DETAILS"
- 5. IF A SPECIFIC DETAIL IS NOT SHOWN FOR ANY PART OF THE WORK, THE CONSTRUCTION SHALL BE THE SAME AS FOR SIMILAR WORK.
- 6. WORKING DIMENSIONS SHALL NOT BE SCALED FROM PLANS, SECTIONS, OR DETAILS ON THESE DRAWINGS.
- 7. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT AND THE STRUCTURAL ENGINEER OF ANY CONDITION WHICH IN HIS OPINION MIGHT ENDANGER THE STABILITY OF THE STRUCTURE OR CAUSE DISTRESS TO THE STRUCTURE.
- 8. THE CONTRACTOR SHALL SUPERVISE AND DIRECT HIS WORK AND HE SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES. PROVIDE ADEQUATE SHORING AND BRACING OF ALL STRUCTURAL MEMBERS DURING CONSTRUCTION.
- 9. ALL WORK SHALL CONFORM TO THE MINIMUM STANDARDS OF THE LATEST EDITION OF THE INTERNATIONAL BUILDING CODE, AND ALL OTHER REGULATING AGENCIES EXERCISING AUTHORITY OVER ANY PORTION OF THE WORK
- 10. SPECIFIC NOTES AND DETAILS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS. WHERE THE NOTES, DRAWINGS, AND/OR SPECIFICATIONS DIFFER, THE MORE STRINGENT REQUIREMENT SHALL APPLY.
- 11. REFER TO THE ARCHITECTURAL DRAWINGS FOR INFORMATION NOT COVERED BY THESE GENERAL NOTES OR THE STRUCTURAL DRAWINGS.
- 12. NOTIFY ENGINEER OF ALL FIELD CHANGES PRIOR TO INSTALLATION.
- 13. DISCREPANCIES FOUND BETWEEN STRUCTURAL DRAWINGS AND OTHER DOCUMENTS ARE TO BE NOTED IN WRITING TO THE ENGINEER PRIOR TO CONSTRUCTION.
- 14. ALL CONSTRUCTION SHALL BE DONE WITH MATERIALS, METHODS, AND WORKMANSHIP ACCEPTED AS GOOD PRACTICE BY THE CONSTRUCTION INDUSTRY IN CONFORMANCE TO THE PROVISIONS OF THE "INTERNATIONAL BUILDING CODE" (IBC), AND STANDARDS REFERENCED THEREIN.

FOUNDATION

- 1. FOUNDATION DESIGN PARAMETERS ASSUMED PER IRC/IBC VALUES:
 - FOOTING BEARING PRESSURE: 1500 PSF
 - LATERAL EARTH PRESSURE:
 - ACTIVE: 35 PCF (FREE) 50 PCF (RESTRAINED) PASSIVE: 250 PCF
 - COEFFICIENT OF BASE FRICTION: 0.35
- 2. SUBGRADE PREPARATION, DRAINAGE PROVISIONS, AND OTHER RELEVANT SOIL CONSIDERATIONS ARE 7. NAILS: NAILING IN ACCORDANCE WITH IBC TABLE 2304.10.1. 16D NAILS MAY BE 16D SINKERS (0.148 x TO BE IN ACCORDANCE WITH THE JURISDICTIONAL REQUIREMENTS
- 3. ALL FOUNDATIONS ARE TO BEAR ON COMPETENT NATIVE SOILS OR STRUCTURAL FILL. STRUCTURAL FILL 8. PRESURE TREATED WOOD: ALL NAILS INTO PT WOOD SHALL BE HOT DIPPED GALVANIZED PER ASTM 2. SOIL: IS TO BE COMPACTED TO 95% DENSITY PER ASTM D-1557.

CONCRETE

- 1. REFERENCE STANDARDS: ACI-301, ACI-318, IBC.
- MINIMUM CONCRETE STRENGTH (28 DAYS):
- FOOTINGS AND STEM WALLS......2,500 PSI 5 SACK MIX
- BASEMENT FOUNDATION RETAINING WALLS......2,500 PSI 5.5 SACK MIX
- SLAB-ON-GRADE......2,500 PSI 5 SACK MIX
- AIR-ENTRAINMENT 2.5% TO 5.5% FOR EXPOSED CONCRETE
- 2. MIXING: COMPLY WITH ACI-301. DO NOT EXCEED THE AMOUNT OF WATER SPECIFIED IN THE APPROVED MIX. PROPORTIONS OF AGGREGATE TO CEMENT SHALL BE SUCH AS TO PRODUCE A DENSE WORKABLE MIX WHICH CAN BE PLACED WITHOUT SEGREGATION OR EXCESS FREE SURFACE WATER
- 3. PLACING: COMPLY WITH ACI-301. PROVIDE A 3/4 INCH CHAMFER ALL EXPOSED CONCRETE EDGES, UNLESS INDICATED OTHERWISE ON ARCHITECTURAL DRAWINGS.
- 4. SLUMP: 4" PLUS OR MINUS ONE INCH. DO NOT ADD WATER TO MIX TO INCREASE SLUMP. GREATER SLUMP, ACCELERATED SET, OR HIGH EARLY STRENGTH MAY BE ACHIEVED BY USING APPROVED ADMIXTURES.
- 5. CURING: COMPLY WITH ACI-301. KEEP CONCRETE MOIST FOR SEVEN DAYS MINIMUM.
- 6. JOINTING: PROVIDE ADEQUATE JOINTING TO MINIMIZE EFFECTS OF VOLUME CHANGE. JOINTS SHOWN MAY BE ADJUSTED AT CONTRACTOR'S OPTION, WITH PRIOR APPROVAL FROM ENGINEER.
- 7. WEATHER EXTREMES: COMPLY WITH ACI 305R FOR HOT WEATHER. COMPLY WITH ACI 306R FOR COLD WEATHER.
- 8. WATER/CEMENT RATIO SHALL NOT EXCEED 0.50 (BY WEIGHT), TYPICAL

REINFORCING STEEL

- (MSP-1)
- 2. MATERIALS:
- REINFORCING STEEL: ASTM A615, GRADE 60 3. SPLICES:
 - CORNER BARS FOR ALL HORIZONTAL REINFORCEMENT

4. COVER:

- SLABS......2 INCHES
- 5. FORMED SURFACES:

WEATHER FACE ...1-1/2 INCHES, #5 BARS AND SMALLER 2 INCHES, # 6 BARS AND LARGER INTERIOR FACE ... 3/4 INCH FOR SLABS AND WALLS 1-1/2 INCHES FOR BEAMS AND COLUMNS

STRUCTURAL AND MISC. STEEL

- 2. MATERIALS:
 - BOLTS ASTM A307, UNLESS OTHERWISE NOTED WF BEAMS - ASTM A572-50 (Fy = 50,000 PSI) HSS ROUND COLUMNS - ASTM A500 Gr. B (Fy = 42,000 PSI) HSS RECTANGULAR COLUMNS - ASTM A500 Gr. B (Fy = 46,000 PSI) ALL OTHER STEEL - ASTM A36 (Fy = 36,000 PSI)

STRUCTURAL STEEL WELDING

SPECIFIED ARE TO BE 1/4" CONTINUOUS FILLET MINIMUM. USE DRY E70 ELECTRODES.

DIMENSIONAL LUMBER

2

LUMBER. BEAR STAMP OF WWPA

	MINIMUM DIMENSIONAL	LUMBER GRADES TO BE:
	WALL STUDS:	2x, HF STUD GRAI
	WALL PLATES:	2x HF STANDARD
		2x, 3x PRESSURE
	JOISTS:	2x6 HF STUD GRA
		2x8 AND UP HF #2
	BEAMS, HEADERS:	6x DF#2; 4x DF#2
	POSTS:	4x, 6x, DF #2
	LUMBER NOT NOTE	D TO BE HF #2.

- GALVANIZED SQUARE PLATE WASHERS FOR ALL ANCHOR BOLTS.
- 4. ALL SILLS OR PLATES RESTING ON CONCRETE OR MASONRY, WHICH IS IN CONTACT WITH OR RESTING PRESSURE TREATED WOOD MEMBERS SHALL COMPLY WITH AWP4 U1 AND AWP4 M4 STANDARDS.
- ANCHORS SHALL BE HILTI KWIK BOLT II ANCHORS EMBED 7", OR APPROVED ALTERNATE.
- 6. BOLTS IN WOOD BEAMS SHALL NOT BE LESS THAN 7 DIAMETERS FROM THE END AND 4 DIAMETERS FROM THE EDGE OF THE MEMBER.
- 3-1/4") UNLESS NOTED OTHERWISE
- HANGERS)

MANUFACTURED TIMBER

0	ACTORED TIMDER		
	PRODUCT	APPLICATION	WIDTHS
	LSL RIMBOARD (1.3E)	RIMBOARD OR STAIR STRINGER	1 ¼"
	TIMBERSTRAND LSL (1.3E)	HEADER, BEAM, OR COLUMN < 9" DEPTH	3 1/2"
	TIMBERSTRAND LSL (1.55E)	RIMBOARD, HEADER, OR < 9" DEPTH BEAM	1 ³ ⁄4",3 1⁄2"
	TIMBERSTRAND LSL (1.3E)	WALL STUD 2X4 & 2X61	1/2"
	(1.5E)	WALL STUD > 2X6	1 1/2"
	MICROLLAM LVL (1.9E)	HEADER, BEAM	1 ³ ⁄4"
	PARALLAM PSL (2.0E)	HEADER, BEAM	3 1⁄2", 5 1⁄4", 7"
	PARALLAM PSL (1.8E)	COLUMN	3 1⁄2", 5 1⁄4", 7"

WOOD STRUCTURAL CONNECTIONS

SIMPSON STRONG-TIE COMPANY OR ENGINEER APPROVED EQUAL.

1. REFERENCE STANDARDS: ACI "DETAILING MANUAL" (SP-66); CRSI MANUAL OF STANDARD PRACTICE

LAP CONTINUOUS REINFORCING BARS 48 BAR DIAMETERS, UNLESS OTHERWISE NOTED. PROVIDE

REFERENCE STANDARDS: DESIGN, FABRICATION AND ERECTION ARE TO BE IN ACCORDANCE WITH THE LATEST EDITION OF THE AISC "CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES"

CONFORM TO THE AWS CODES D1.1 AND D1.3. ALL WELDING TO BE DONE ONLY BY WABO CERTIFIED WELDERS AND HAVE SPECIAL INSPECTION BY WABO CERTIFIED INSPECTION AGENCY OR BE DONE BY WABO CERTIFIED FABRICATION SHOP. EITHER SPECIAL INSPECTION REPORT OR WABO FABRICATION SHOP CERTIFICATION SHOULD BE AVAILABLE ON SITE FOR THE BUILDING INSPECTOR. WELDS NOT

MEET REQUIREMENTS OF PS 20-70 AND NATIONAL GRADING RULES FOR SOFTWOOD DIMENSIONAL

- DE, 3x HF #2
- GRADE
- TREATED HF STANDARD GRADE AT FOUNDATION DE
- 2, WWPA GRADING

PROVIDE STANDARD CUT WASHERS FOR NUTS BEARING AGAINST WOOD, AND 1/4"x3" HOT-DIPPED

ON FOUNDATIONS, SHALL BE PRESSURE TREATED HEM FIR OR BETTER. ALL BEARING WALL PLATES SHALL HAVE 5/8"Ø ANCHOR BOLTS PLACED A MAXIMUM 9" FROM THE END OF A PLATE AND SPACED AT INTERVALS SHOWN ON THE SHEARWALL SCHEDULE (MAXIMUM 4'-0" O.C. SPACING). ALL TREATED

5. CAST-IN-PLACE ANCHOR BOLTS SHALL HAVE A MINIMUM 7" EMBEDMENT. ALTERNATE 5/8"Ø EXPANSION

A153 OR STAINLESS STEEL. ALL METAL CONNECTORS IN CONTACT WITH PT WOOD SHALL BE HOT DIPPED GALVANIZED AND MEET ASTM A653 CLASS G185 (1.85 oz OF ZINC PER SQ FT MINIMUM) OR TYPE 304 / 316 STAINLESS STEEL. SIMPSON Z-MAX CONNECTORS MEET THIS REQUIREMENT. FASTENERS AND CONNECTORS USED TOGETHER SHALL BE OF THE SAME TYPE (E.G. HOT DIPPED NAILS WITH HOT DIPPED

ALL FRAMING ANCHORS, POST CAPS, BASES, HANGERS, STRAPS, ETC., SHALL BE AS MANUFACTURED BY

BRICK VENEER ANCHORAGE

1. D/A 2135 SEISMIC VENEER ANCHORS BY DUR-O-WAL OR APPROVED EQUAL AT WOOD STUD WALL.

- 2. D/A 5213 SEISMIC VENEER ANCHORS BY DUR-O-WAL OR APPROVED EOUAL AT CONCRETE WALL
- 3. PLACE ANCHORS AT 16" O.C. VERTICAL AND 16" HORIZONTAL. PROVIDE #9 GA HORIZONTAL JOINT REINFORCING WIRE . ATTACH TO WOOD STUDS WITH #8 CORROSION RESISTANT SCREWS AND TO CONCRETE WITH 1/4"Ø EXPANSION ANCHORS.
- 4. AT ALL OPENINGS LARGER THAN 16" IN EITHER DIRECTION, ANCHORS TO BE SPACED WITHIN 12" OF THE OPENING AT ALL SIDES.
- 5. USE TYPE N MORTAR COMPLYING WITH ASTM C270

GLU-LAMINATED TIMBER

- 1. GLU-LAMINATED WOOD BEAMS, DOUGLAS FIR COAST REGION, KILN DRIED, AITC SPECIFICATION 24F-V4 FOR SIMPLE SPANS (TYPICAL), AND 24F-V8 FOR CANTILEVER-SPANS (WHERE SPECIFIED). PROVIDE AITC STAMP ON TIMBER AND SUBMIT CERTIFICATE TO ARCHITECT AND ENGINEER. MATERIALS MUST BE OBTAINED FROM AN AITC APPROVED FABRICATOR. ALL GLU-LAM BEAMS SHALL FIT SNUG AND TIGHT IN THEIR CONNECTIONS AND DEVELOP FULL BEARING AS INDICATED. NO SUBSTITUTION OF OTHER SPECIES, GLU-LAM ADHESIVE TO BE "WET- USE" TYPE, PROVIDE 2000 FT RADIUS CAMBER, U.N.O.
- MANUFACTURER'S CERTIFICATE SHALL BE PRESENTED TO THE BUILDING INSPECTOR PRIOR TO INSTALLATION.

WOOD SHEATHING

- ROOF SHEATHING: 7/16" MINIMUM THICKNESS APA RATED PRP-108 PERFORMANCE STANDARD, EDGE SEALED PANELS DESIGNED TO SPAN 24 INCHES EITHER PARALLEL OR PERPENDICULAR TO LONG AXIS OF PANEL WITH 35 PSF LIVE LOAD. LAY UP WITH MINIMUM 1/8" CLEAR BETWEEN PANELS TO ALLOW FOR EXPANSION, NAIL 6 INCHES ON CENTER ALONG EDGES, AND 12 INCHES ON CENTER AT INTERMEDIATE SUPPORTS. USE 10D COMMON NAILS, U.N.O. PROVIDE EXP-1 RATING.
- FLOOR SHEATHING: 3/4" NOMINAL APA RATED PANELS, PRP-108 PERFORMANCE STANDARD, NAILED AND GLUED. CONFORM TO IBC IDENTIFICATION INDEX 40/20 FOR SUPPORTS TO 20 INCHES ON CENTER. ADHESIVES ARE TO CONFORM TO APA SPECIFICATION AFG-01. PROVIDE T&G EDGES AT LONG PANEL EDGES. LAY UP WITH MINIMUM 1/8" CLEAR BETWEEN PANELS TO ALLOW FOR EXPANSION. NAIL 6 INCHES ON CENTER AT END SUPPORTS AND 10 INCHES ON CENTER AT INTERMEDIATE SUPPORTS. USE 10D COMMON NAILS. PROVIDE EXP-1 RATING.
- 3. WOOD SHEARWALL SHEATHING: PLYWOOD OR OSB APA RATED PRP-108 PERFORMANCE STANDARD PER IBC STD 23-2 OR 23-3 TYPE C-C OR C-D. USE EXTERIOR ADHESIVES. USE 8d COMMON NAILS. PROVIDE EXP-1 RATING. ALL VERTICAL JOINTS OF PANEL SHEATHING SHALL OCCUR OVER STUDS. HORIZONTAL JOINTS SHALL OCCUR OVER BLOCKING EQUAL IN SIZE TO THE STUDDING. REFER TO SHEAR WALL SCHEDULE FOR PANEL THICKNESS.
- 4. NAILING SPECIFICATIONS: CONFORM TO IBC SECTION 2304.10 "CONNECTIONS AND FASTENERS." UNO ON PLANS, NAILING PER TABLE 2304.10.1, AND FOR ROOF/FLOOR DIAPHRAGMS AND SHEARWALLS SHALL BE PER DRAWINGS. NAILS SHALL BE DRIVEN FLUSH AND SHALL NOT FRACTURE THE SURFACE OF SHEATHING. ALTERNATE NAILS MAY BE USED BUT ARE SUBJECT TO REVIEW AND APPROVAL BY THE STRUCTURAL ENGINEER. SUBSTITUTION OF STAPLES FOR THE NAILING OF RATED SHEATHING IS SUBJECT TO REVIEW BY THE STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION.

SHOP DRAWINGS AND SUBMITTALS

1. SUBMIT 2 SETS OF PRINTS AND 1 SET OF REPRODUCIBLES FOR REVIEW FOR:

- C) GLU-LAMINATED BEAMS A) REINFORCING STEEL MISCELLANEOUS STEEL B) D) PRE-MANUFACTURED WOOD TRUSSES
- 2. SUBMIT 3 COPIES FOR REVIEW PRIOR TO FABRICATION FOR:
- CONCRETE DESIGN MIX A)
- B) CONCRETE INSERTS
- C) EPOXY ADHESIVES

INSPECTIONS

- 1. REFERENCE STANDARDS: IBC 110.
- INSPECTIONS ARE TO BE PERFORMED BY THE BUILDING OFFICIAL. INSPECTIONS REQUIRED ARE AS FOLLOWS:
- VERIFY SUBGRADE IS DRY DENSE AND DOES NOT HAVE STANDING WATER PRIOR TO POURING FOOTINGS. INSPECTIONS REQUIRED ONLY FOR DESIGN MIXES SPECIFIED GREATER THAN 3. CONCRETE: 2500 PSI. TAKE CONCRETE CYLINDERS AS REQUIRED. VERIFY SLUMP AND STRENGTH. 4. **REINFORCING**: VERIFY ALL REINFORCING IS PLACED IN ACCORDANCE WITH APPROVED PLANS. CHECK FOR REQUIRED COVER, SIZE AND GRADE.
- 5. WOOD: DIAPHRAGM NAILING, BLOCKING AND HOLD-DOWN CONNECTIONS.

ALTERNATES:

1. ALTERNATE ASSEMBLIES AND MATERIALS WILL BE CONSIDERED FOR REVIEW. ENGINEER MAY REQUEST PAYMENT FOR REVIEW; CONTRACTOR WILL BEAR BURDEN FOR ADDITIONAL PAYMENT AT NO ADDITIONAL COST TO OWNER.

SETTLEMENT SHRINKAGE

1. DUE TO CROSS GRAIN WOOD SHRINKAGE, THIS BUILDING IS EXPECTED TO SETTLE APPROXIMATELY 3/8 INCH PER STORY. ALL PLUMBING AND MECHANICAL DUCTS SHALL BE DESIGNED WITH FLEXIBLE JOINTS OR OTHERS MEANS TO APPROPRIATELY ACCOMMODATE THIS NORMAL SETTLEMENT. ALL INTERIOR AND EXTERIOR SHEATHING AND FINISHES SHALL BE INSTALLED SUCH THAT NO DAMAGE WILL OCCUR. SHRINKAGE IS EXPECTED IN THE DEPTH OF THE FLOOR PLATES AND NOT IN THE LENGTH OF THE WALL STUDS.

JOBSITE SAFETY:

THE ENGINEER AND/OR ARCHITECT HAVE NOT BEEN RETAINED OR COMPENSATED TO PROVIDE DESIGN AND/OR CONSTRUCTION REVIEW SERVICES RELATED TO THE CONTRACTOR'S SAFETY PRECAUTIONS OR TO MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES FOR THE CONTRACTOR TO PERFORM HIS WORK. THE UNDERTAKING OF PERIODIC SITE VISITS BY THE ENGINEER AND/OR ARCHITECT SHALL NOT BE CONSTRUED AS SUPERVISION OF ACTUAL CONSTRUCTION NOR MAKE HIM RESPONSIBLE FOR PROVIDING A SAFE PLACE FOR THE PERFORMANCE OF WORK BY THE CONTRACTOR, SUBCONTRACTORS, SUPPLIERS OR THEIR EMPLOYEES, OR FOR ACCESS, VISITS, USE, WORK, TRAVEL, OR OCCUPANCY BY ANY PERSON.

GLB

GR

GYP

HDG

HDR

HF

HG1

HT

IN

1T

MAX

MIN

MISC

NB

NO

OC

PSF

PSI

PT

RAF

REF

REINF

REQD

REQS

SF

SHTG

SIM

SPF

STD

SYP

T/BM

T/PL

T/ST

T/W

TF

T1

ΤP

TR

TYP

UNO

UPA

UWA

VERT

VIF

W/

WC

WP

WWF

T/SLAB

T/CONC

ABBREVIATIONS

АВ	ANCHOR BOLT
ABV	ABOVE
AFF	ABOVE FINISH FLOOR
ALT	ALTERNATE
ALUM	ALUMINUM
APPROX	APPROXIMATE
ΑΥΓ	ALASKAN YELLOW CEDAR
BB	
BE	
BLDC	
BLUG	
DLKG	
BP	
BRG	BEAKING
BIWN	BEIWEEN
BSMT	BASEMENT
B/W	BOTTOM OF WALL
CANT	CANTILEVER
CJ	CONTROL JOINT
CLG.	CEILING
CLJ	CEILING JOIST
CLR	CLEAR
CMU	CONCRETE MASONRY UNIT
COL	COLUMN
CONC	CONCRETE
CONN	CONNECTION
CONST	CONSTRUCTION
CONT	CONTINUOUS
CTP	CENTER
DET	
DE	
	DOUGLASTIK (SOUTH)
DJ	DOUBLE JOIST
DIA	DIAMETER
DN	DOWN
DS	DOWN SPOUT
EA	EACH
EF	EACH FACE
EJ	EXPANSION JOINT
ELEV	ELEVATION
EN	EDGE NAILING (PANEL)
EOR	ENGINEER OF RECORD
EQ	EQUAL
ES	EACH SIDE
EW	EACH WAY
FB	FLUSH BEAM
FIN	FINISH
FL	FLOOR
FLSHG	FLASHING
FND	
FD	
r r	
GA	GAUGE
GALV	GALVANIZED

GLULAM BEAM GRADE GYPSUM WALL BOARD HOT-DIPPED GALVANIZED HEADER HEM FIR HEIGHT HEIGHT INCH JOINT MAXIMUM MINIMUM MISCELLANEOUS NON-BEARING NUMBER ON CENTER PLATE POUNDS PER SQUARE FOOT POUNDS PER SQUARE INCH PRESSURE TREATED RAFTER REFERENCE REINFORCEMENT REQUIRED REQUIREMENTS SQUARE FOOT SHEATHING SIMILAR SPRUCE PINE FIR STANDARD SOUTHERN YELLOW PINE TOP OF TOP OF BEAM TOP OF CONCRETE TOP OF PLATE TOP OF SLAB TOP OF STEEL TOP OF WALL TOP FLUSH TRIPLE JOIST TOP PLATE THREADED ROD TYPICAL UNLESS NOTED OTHERWISE UNDER POST ABOVE UNDER WALL ABOVE VCB (V.C.B.) VERTICAL CRUSH BLOCKING VERTICAL VERIFY IN FIELD WITH WESTERN CEDAR WATERPROOF WELDED WIRE FABRIC



Z NO REVISIONS DESCRIPTION DATE B **PROJECT NAME** STOKKE RESIDENCE **PROJECT NUMBER** S201117-6 DRAWN BY - MR CHECKED BY - MRT SHEET DATE - 3/3/2021 SCALE 24X36 SHEET:1/4"=1'-0" БS $\overline{\mathbf{O}}$ Z ш Ш J \cup S RU



FOUNDATION PLAN



1. GENERAL STRUCTURAL NOTES AND ABBREVIATIONS PER SHEET S-1.

- VERIFY ALL DIMENSIONS AND ELEVATIONS WITH ARCH. PROVIDED DIMENSIONS ARE TO FACE OF CONCRETE STEM WALL OR CENTER OF INDIVIDUAL FOOTING. OUTSIDE FACE OF STEM WALL ALIGNS WITH OUTSIDE FACE OF STUD WALL UNO. STHD HOLDOWNS ARE DIMENSIONED TO CENTER OF STRAP. HDU/HD/HTT HOLDOWNS ARE DIMENSIONED TO CENTER OF ANCHOR BOLT.
- VERIFY ALL T/CONC ELEVATIONS ON ALL CONCRETE INCLUDING PARTIAL HEIGHT RETAINING WALLS. CONCRETE TO EXTEND MIN 8" ABOVE FINISHED GRADE. PROVIDE 1" RECESS AT DOUBLE SIDED SHEARWALLS TO ACCOMODATE 3X SILL PLATE.
- 4. FOOTINGS ARE TO BEAR ON COMPETENT NATIVE SOIL OR STRUCTURAL FILL CAPABLE OF SUPPORTING THE ASSUMED BEARING PRESSURE PER GENERAL NOTES. REFERENCE GEOTECHNICAL REPORT (IF AVAILABLE) FOR SUBGRADE PREPARATION, FILL REQUIREMENTS, FOOTING DRAINS, AND OTHER REQUIREMENTS. REFERENCE ARCH SET (OR OTHERS IF APPLICABLE) FOR FOOTING DRAINS AROUND PERIMETER OF BUILDING.
- 5. PRIOR TO POURING CONCRETE CONTRACTOR SHALL LOCATE AND VERIFY LOCATIONS OF ALL FOUNDATION OPENINGS, PENETRATIONS, AND SLOPES.
- 6. ALL WOOD LOCATED WITHIN 8" OF FINISHED GRADE, EXPOSED TO WEATHER OR IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED. ALL FASTENERS IN CONTACT WITH FIRE-RETARDANT OR PRESSURE-TREATED WOOD SHALL BE COVERED IN PROTECTIVE COATING (I.E. HDG OR SIM).
- 7. SILL ANCHOR BOLTS (J-BOLTS) SHALL BE ASTM F1554 (36KSI) HDG, ASTM A307 (36KSI) HDG OR SIM. ANCHOR BOLTS TO BE 5/8"Ø X 7" MIN EMBEDMENT. SPACING PER SHEARWALL SCHEDULE (72" O.C. MAX). EACH ANCHOR BOLT TO HAVE STANDARD HDG NUT AND WASHER INSTALLED OVER 3"X3"X1/4" HDG PLATE WASHER WITH AND EDGE OF THE PLATE WASHER LOCATED WITHIN 1/2" OF SHEATHED FACE OF WALL. FOR TWO-SIDED SHEARWALLS W/ 2X6 WALL FRAMING USE 4X4X1/4" PLATE WASHERS OR STAGGER ANCHOR BOLTS SO THAT EVERY OTHER PLATE WASHER IS LOCATED WITHIN 1/2" OF EACH FACE OF THE WALL.
- HOLDOWNS BY SIMPSON STRONG-TIE. INSTALLATION PER MANUFACTURER SPECIFICATIONS. ALTERNATIVE SOLUTIONS SHALL BE SUBMITTED TO EOR FOR APPROVAL PRIOR TO INSTALLATION. HOLDOWN THREADED RODS SHALL BE ASTM F1554 (36KSI) HDG UNO. EMBEDDED END OF THREADED ROD TO HAVE 3"X3"X1/4" HDG PLATE WASHER BETWEEN TWO HAND-TIGHTENED HDG STANDARD NUTS.
- CJ INDICATES CONTROL JOINT.
 FIRE-PROOFING AND MOISTURE-PROOFING REQUIREMENTS BY OTHERS.
- EXTERIOR STAIRS AND STEEL-FRAMED STAIRS BY OTHERS.
 TYPICAL DETAILS:
 - 2/SD_1 TVD INTEDI
- 2/SD-1 TYP INTERIOR FOOTING
 5/SD-1 TYP CORNED BARS DEC'
- 5/SD-1 TYP CORNER BARS REQ'T
 7/SD-1 TYP CONSTRUCTION JOINT
- 8/SD-1 TYP BAR BEND AND HOOK DETAIL

HOLDOWN SCHEDULE					
MODEL	ANCHOR	EMBEDMENT	MIN END POST		
CS16/CS14	-	-	1-2X EA		
MST#	-	-	2-2X OR 3X		
STHD14/STHD14RJ	-	-	2-2X OR 3X		
HDU2	5/8" TR	12"	2-2X OR 3X		
HDU5	5/8" TR	12"	2-2X		
HDU8	7/8" TR	12"	3-2X		
HDU11	1" TR	12"	6X6		
HDU14	1" TR	15"	6X6		
HD19	1 1/4" TR	15"	6X6		

FOUNDATION LEGEND

- INDICATES STEP AT T/FOUNDATION
- INDICATES STEP AT B/FOUNDATION

TANK WALL (TOP OF WALL NOT TO

- -
- ETAMOIA

L _ _ _

-

- STEP WITHIN HATCHED REGION) HOLDOWN BY SIMPSON (STHD/HDU/HD/HTT, TYP)
- FOOTING CENTERED ON POST (L X W X T)



SHEET DATE - 3/3/2021 SCALE 24X36 SHEET:1/4"=1'-0"

OUNDATION PLAN

S-2



DECK FRAMING PLAN

FLOOR FRAMING NOTES

- 1. GENERAL STRUCTURAL NOTES AND ABBREVIATIONS PER SHEET S-1.
- 2. VERIFY ALL DIMENSIONS AND ELEVATIONS WITH ARCH.
- 3. FLOOR SHEATHING PER GENERAL NOTES. ALL SHEATHING TO BE GLUED AND NAILED TO FRAMING PER MANUFACTURER RECOMMENDATIONS. USE 8d COMMON NAILS (0.131" X 2 1/2") @ 6" O.C. AT PANEL EDGES AND AT ALL FRAMING DESIGNATED "WITH EDGE NAILING" OR "W/EN", AND 12" O.C. IN THE FIELD, UNO. PANEL EDGE JOINTS TO BE STAGGERED BETWEEN ADJACENT PANELS OF SHEATHING. PROVIDE GAP BETWEEN PANELS TO ALLOW FOR NATURAL EXPANSION/CONTRACTION (1/8" GAP TYP).
- 4. LOCATE ALL OPENINGS AND PENETRATIONS AND VERIFY NO CONFLICT WITH FLOOR FRAMING. MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS BY OTHERS.
- 5. ALL WOOD LOCATED WITHIN 8" OF FINISHED GRADE, EXPOSED TO WEATHER OR IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED. ALL FASTENERS IN CONTACT WITH FIRE-RETARDANT OR PRESSURE-TREATED WOOD SHALL BE COVERED IN PROTECTIVE COATING (I.E. HDG OR SIM).
- 6. ALL BEAMS SHALL BE SUPPORTED BY MIN TWO STUDS BELOW EACH END, UNLESS NOTED OTHERWISE ON PLAN. ALL BEAMS SHALL BE FRAMED FLUSH WITH JOISTS UNO. "DROPPED BEAM" OR "DB" INDICATES T/BEAM EQUAL B/JOISTS. "TOP FLUSH" OR "TF" INDICATES T/BEAM EQUAL T/JOISTS AND B/BEAM EXTENDING BELOW B/JOISTS. "BOTTOM FLUSH" OR "BF" INDICATES B/BEAM EQUAL B/JOISTS AND T/BEAM EXTENDING ABOVE T/JOISTS.
- ALL NON-BEARING WALLS TO BE FRAMED MIN 0.25" UNDER FLOOR SYSTEM.
- 8. STUD QUANTITIES, POST SIZE, HOLDOWN, AND SHEARWALL REQUIREMENTS PER WALL FRAMING AND SHEARWALL PLAN BELOW.
- 9. ALL POSTS ABOVE THE FLOOR FRAMING SHALL BE BLOCKED WITHIN THE FLOOR DEPTH ("VERTICAL GRAIN BLKG", "VERTICAL CRUSH BLKG", OR "VCB"). BLOCKING WIDTH SHALL MATCH WIDTH OF POST OR BUNDLED STUDS ABOVE AND EXTEND FULL FLOOR DEPTH.
- 10. HORIZONTAL STRAPS INDICATED ON FRAMING PLANS SHALL BE CENTERED OVER THE TOP PLATE, BEAM, OR BLOCKING. STRAP LENGTH PER PLAN.
- 11. ALL TIES AND HANGERS TO BE MANUFACTURED BY SIMPSON STRONG-TIE. INSTALLATION PER MANUFACTURER'S RECOMMENDATIONS. ALTERNATIVE SOLUTIONS SHALL BE SUBMITTED TO EOR FOR APPROVAL PRIOR TO INSTALLATION. REFER TO TYPICAL HANGER SCHEDULE FOR HANGER SIZE UNO ON PLAN OR DETAILS.
- 12. ENGINEERED FLOOR JOISTS AND FLOOR TRUSSES TO BE DESIGNED BY OTHERS. REFER TO STRUCTURAL GENERAL NOTES FOR SUBMITTAL INFORMATION, AND DESIGN CRITERIA.
- FIRE-PROOFING AND MOISTURE-PROOFING REQUIREMENTS BY OTHERS.
 TYPICAL DETAILS:
- 14. TYPICAL DETAILS:13/SD-1 TYP DROPPED BEAM AT CUT PLATES
- 18/SD-1 TYP FRAMING AT INTERIOR BEARING WALL
- 19/SD-1 TYP FRAMING AT INTERIOR FLUSH BEAM

FRAMING LEGEND

 $\binom{2}{2}$

		- BLOCKED F	LOOR DIAPHRA	GM	
	W10X15	 STEEL BEA 	M (EXAMPLE)		
	GT	 GIRDER TR 	USS		
		- FLOOR BEA	M		
		- INTERIOR	BEARING WALL		
		STRAP			
		- LOW ROOF			
3	1/8" X 9" GLB (FH-	5) - BEAM/HEAI	DER CALL OUT (EXAMPLE)	
			E TO BEAM OR T	RUSS	
		CALCULATI	ON IN CALCULA	TION PACKAGE	
		BEAM OR T	RUSS MEMBER		
		T - HANGER AS	S REQD	-0	
	NO DE TRUSSE				
	E	ISS	SIMILAR JOJ	5150.	
	IRE	TENTS	OF SIMI		
		L EATE			
	SPA	P N N			
		OR			
				_	
	T	PICAL JOIST HA	ANGER SCHEDUL	E	
		TJIZ	210		
	11 7/8"				
	11770	2-PLY 11 7/8"	14"	2-PLY 14"	
	IUS2.06/11.88	2-PLY 11 7/8" MIU4.28/11	14" IUS2.06/14	2-PLY 14" MIU4.28/14	
	IUS2.06/11.88	2-PLY 11 7/8" MIU4.28/11 2X	14" IUS2.06/14 10	2-PLY 14" MIU4.28/14	

1-PLY				2-PLY		
LUS210			LUS210-2			
	TYPICAL BEAM HANGER SCHEDULE					
LVL / LSL / PSL						
	1 3/4"	3 1/2		5 1/4"	7"	
11 7/8"	HUS1.81/10	HHUS4	10	HGUS5.50/12	HGUS7.25/12	
14"	HUS1.81/10	HHUS4	10	HGUS5.50/14	HGUS7.25/14	

BONNESSIONAL ENGINE

	LONGITUDE	ENGINEERING & DESIGN
REVISIONS		
- DESCRIPTION DATE BY		
PROJECT NAME STOKKE RESIDENCE		
S201117-6		
DRAWN BY - MR		
CHECKED BY - MRT		
SHEET DATE - 3/3/2021 SCALE		
2	4X36 SHEET:1/4	"=1'-0"
	N	
	G PLA	
	AMIN	
NOILL	CK FR.	S-S
DESCR	DE(SHEET



ROOF FRAMING NOTES

- 1. GENERAL STRUCTURAL NOTES AND ABBREVIATIONS PER SHEET S-1.
- 2. VERIFY ALL DIMENSIONS AND ELEVATIONS WITH ARCH.
- ROOF SHEATHING PER GENERAL NOTES. ALL SHEATHING TO BE GLUED AND NAILED TO FRAMING PER MANUFACTURER RECOMMENDATIONS. USE 8d COMMON NAILS (0.131" X 2 1/2") @ 6" O.C. AT PANEL EDGES AND AT ALL FRAMING DESIGNATED "WITH EDGE NAILING" OR "W/EN", AND 12" O.C. IN THE FIELD, UNO. PANEL EDGE JOINTS TO BE STAGGERED BETWEEN ADJACENT PANELS OF SHEATHING. PROVIDE GAP BETWEEN PANELS TO ALLOW FOR NATURAL EXPANSION/CONTRACTION (1/8" GAP TYP).
- 4. ALL ROOF TRUSSES SHALL BE SPACED NO FURTHER APART THAN 24" O.C. AND SHALL BE CONNECTED TO TOP PLATE WITH H2.5 TIE UNO.
- ALL GIRDER TRUSSES SHALL BE CONNECTED TO TOP PLATE WITH TWO H6 TIES UNO.
- LOCATE ALL OPENINGS AND PENETRATIONS AND VERIFY NO CONFLICT WITH ROOF FRAMING. MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS BY OTHERS.
- 7. ALL BEAMS AND GIRDER TRUSSES SHALL BE SUPPORTED BY MIN TWO STUDS BELOW EACH END, UNLESS NOTED OTHERWISE ON PLAN. ALL BEAMS SHALL BE FRAMED FLUSH WITH JOISTS UNO. "DROPPED BEAM" OR "DB" INDICATES T/BEAM EQUAL B/JOISTS. "TOP FLUSH" OR "TF" INDICATES T/BEAM EQUAL T/JOISTS AND B/BEAM EXTENDING BELOW B/JOISTS. "BOTTOM FLUSH" OR "BF" INDICATES B/BEAM EQUAL B/JOISTS AND T/BEAM EXTENDING ABOVE T/JOISTS.
- ALL NON-BEARING WALLS TO BE FRAMED MIN 0.25" UNDER FLOOR 8. SYSTEM.
- STUD QUANTITIES, POST SIZE, HOLDOWN, AND SHEARWALL 9. REQUIREMENTS PER WALL FRAMING AND SHEARWALL PLAN BELOW.
- 10. HORIZONTAL STRAPS INDICATED ON FRAMING PLANS SHALL BE CENTERED OVER THE TOP PLATE, BEAM, OR BLOCKING. STRAP LENGTH PER PLAN UNO.
- 11. ALL HANGERS TO BE MANUFACTURED BY SIMPSON STRONG-TIE INSTALLATION PER MANUFACTURER'S RECOMMENDATIONS ALTERNATIVE SOLUTIONS SHALL BE SUBMITTED TO EOR FOR APPROVAL PRIOR TO INSTALLATION. REFER TO TYPICAL HANGER SCHEDULE FOR HANGER SIZE UNO ON PLAN OR DETAILS. HANGERS FOR ROOF TRUSSES BY OTHERS.
- 12. ENGINEERED ROOF JOISTS AND ROOF TRUSSES TO BE DESIGNED BY OTHERS. REFER TO STRUCTURAL GENERAL NOTES FOR SUBMITTAL INFORMATION, AND DESIGN CRITERIA.
- 12.1. STANDARD DEAD AND LIVE LOADS SHALL BE USED FOR TRUSS DESIGN. REFERENCE STRUCTURAL GENERAL NOTES FOR MORE INFORMATION.
- 12.2. CHANGES TO LAYOUT MUST BE SUBMITTED TO THE ARCHITECT AND EOR FOR REVIEW AND APPROVAL.
- 12.3. TRUSS SUBMITTAL PACKAGE TO BE PROVIDED TO EOR FOR REVIEW. REFERENCE STRUCTURAL GENERAL NOTES FOR SUBMITTAL REQUIREMENTS.
- 12.4. (XXX LBS SHEAR/DRAG) INDICATES SHEAR TRANSFER LOAD. SHEAR TRUSS SHALL BE DESIGNED TO BE ABLE TO TRANSFER SPECIFIED LATERAL LOAD APPLIED AT THE TOP CHORD TO THE BOTTOM CHORD AND INTO SHEARWALL BELOW.
- 12.5. ROOF TRUSSES SHOULD BE DESIGNED FOR ADDITIONAL LOADS WHERE APPLICABLE AS SPECIFIED BY THE ARCHITECT (I.E. MECHANICAL UNITS, ROOF DECKS AND PATIOS, GREEN ROOFS, SOLAR UNITS AND ETC).
- 12.6. TRUSS DESIGN FOR BEARING AT TOP PLATES TO BE DESIGNED FOR COMPRESSION PERPENDICULAR TO GRAIN. 13. FIRE-PROOFING AND MOISTURE-PROOFING REQUIREMENTS BY
- OTHERS. 14. ROOF COVERINGS AND ROOFING MATERIAL BY OTHERS.
- 15. ROOF DRAINAGE BY OTHERS.
- 16. ATTIC VENTILATION BY OTHERS.
- 17. FOR TYPICAL INSTALLATION DETAILS REFERENCE TO: 13/SD-1 TYP DROPPED BEAM AT CUT PLATES





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REVISIONS

DESCRIPTION DATE BY

PROJECT NAME

STOKKE RESIDENCE

PROJECT NUMBER

