

STOKKE RESIDENCE

5005 88TH AVE SE
MERCER ISLAND, WA 98040



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STOKKE RESIDENCE

5005 88th Ave SE MERCER ISLAND, WA 98040



RYAN RHODES DESIGNS
303 Nickerson Street | Seattle, WA
ryanrhodesdesigns.com | 206.632.1818

CONTACT INFORMATION

OWNER JOHN & SHANNON STOKKE 5005 88TH AVE SE MERCER ISLAND, WA 98040 (206) 632-3333 - phone johns@mgmgroup.com - email shannon.stokke@gmail.com	ARCHITECT RYAN RHODES DESIGNS, INC. CONTACT: CHRISTINE GREENE 303 NICKERSON ST SEATTLE, WA 98109 (206) 632-1818 - phone christine@ryanrhodesdesigns.com - email	STRUCTURAL ENGINEER L120 ENGINEERING & DESIGN CONTACT: MANS THURFJELL 13150 91ST PL, NE KIRKLAND, WA 98034 (425) 636-3313 - phone mthurfel@l120engineering.com - email	GENERAL CONTRACTOR EAKMAN CONSTRUCTION CONTACT: STACY EAKMAN 9226 ROOSEVELT WAY NE SEATTLE, WA 98115 (206) 972-2275 - phone stacy@eakmanconstruction.com - email WA STATE LICENSE #: EAKMAC 881N4
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PROJECT INFORMATION

PERMIT #:		LOT SIZE:	40,791.13 SF	LOT SLOPE CALCULATIONS:	
ADDRESS:	5005 88TH AVE SE	COVERAGE:	SEE DIAGRAM	HIGHEST POINT:	299.49 FT
TAX ID NO.:	192405-9140	IMPERVIOUS SURFACE:	SEE DIAGRAM	LOWEST POINT:	228.40 FT
LEGAL DESCRIPTION:	BEG AT PT 450 FT N OF SE COR OF NW 1/4 OF NW 1/4 TH N 89-24-27 W 200 FT TH N 00-02-18 E TO N LN OF S 1/2 OF SD SUBD TH S 89-09-50 E 200 FT TH S 00-02-18 W 203.54 FT TO BEG	HEIGHT LIMIT:	30 feet ABE; NO CHANGE TO EXISTING	DIFFERENCE =	71.09 FT
SCOPE:	REPLACE EXISTING DECK w/ NEW DECK	SETBACKS:		DISTANCE BTWN HIGHEST & LOWEST POINTS =	187'-6"
ZONING:	R-9.6	FRONT YARD:	20 feet	71.08/187.5 =	37.9% LOT SLOPE
HEATING:	GAS	SIDE YARDS:	5 feet min each; both side yards combined cannot exceed 17% of lot width (200 ft) = 34 feet		
		REAR YARD:	25 feet		

ENERGY CODE:

TABLE R402.1.1 INSULATION AND PENETRATION REQUIREMENTS BY COMPONENT		
Washington State Energy Codes (2018 Edition) : Table R402.1.1 and Table R402.1.3 Prescriptive Requirements for Group R Occ, Climate Zone 5 & Marine 4		
Component	R-Value	U-Factor
Fenestration U-Factor	n/a	0.30
Skylight U-Factor	n/a	0.50
Ceiling	49 (38 vaulted)	0.026
Above Grade Wall - Wood Framed	21 int	0.056
Floor	30	0.029
Below Grade Wall	10/15/21 int + 5TB	0.042
Slab R-Value & Depth	10, 2 ft	n/a

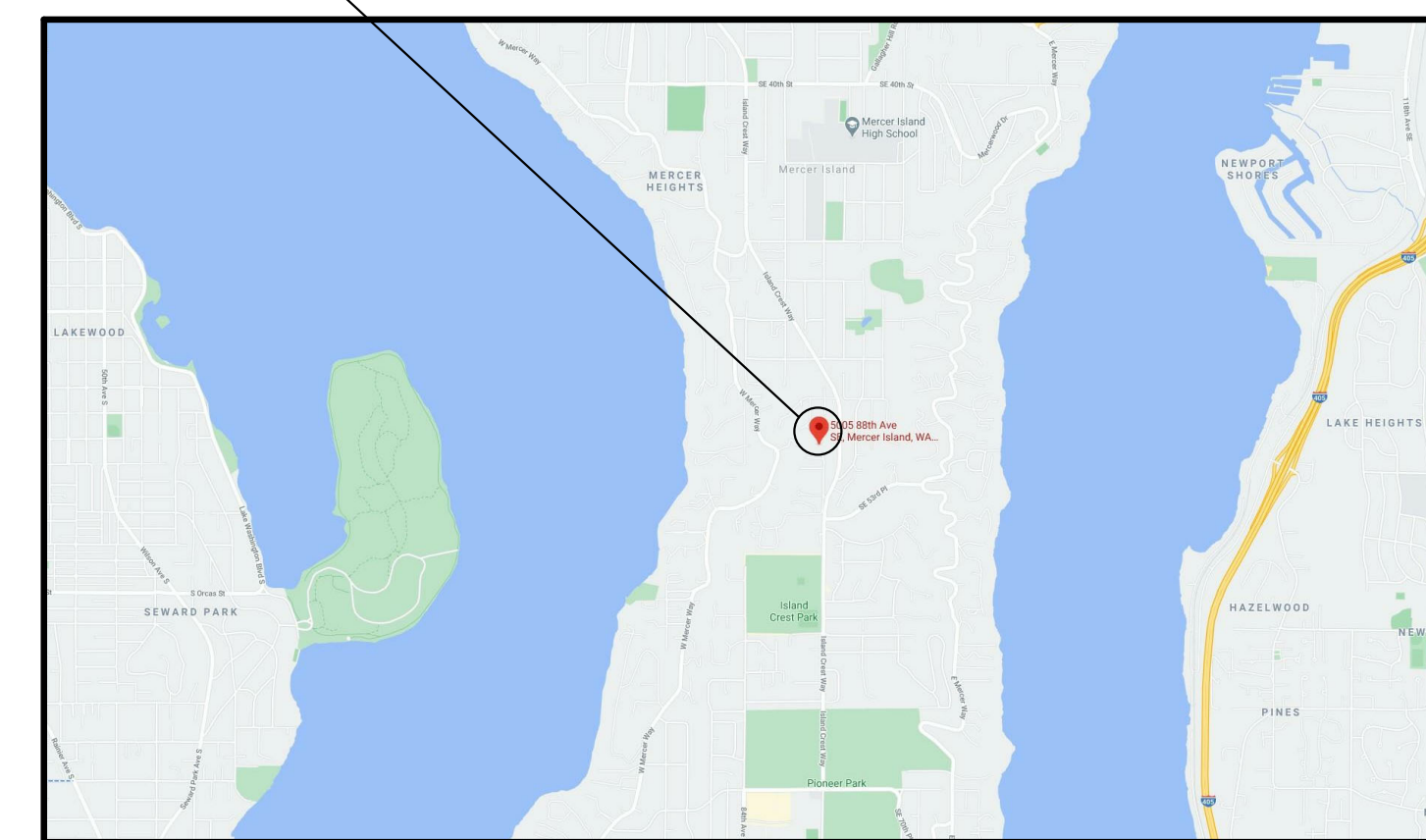
Footnote (c): "10/15/21 int + 5TB" means R-10 continuous insulation on the exterior of the wall, or R-15 on the continuous insulation on the interior of the wall, or R-21 cavity insulation plus a thermal break between the slab and the basement wall at the interior of the basement wall. "10/15/21 int + 5TB" shall be permitted to be met with R-13 cavity insulation on the interior of the basement wall plus R-5 continuous insulation on the interior or exterior of the wall. "5TB" means R-5 thermal break between floor slab and basement wall.

TABLE 406.2 ENERGY CREDITS:

*ALTERATIONS DO NOT NEED TO OBTAIN ENERGY CREDITS FROM TABLE 406.2 PER SECTION R501, EXISTING BUILDINGS

EXTERIOR DECK & SITE ALTERATIONS, ONLY.
NO WORK TO EXISTING BUILDING ENVELOPE

VICINITY MAP:



GENERAL NOTES:

- Any specific reference to codes, rules, regulations, standards, manufacturer's instructions or requirements of regulatory agencies shall mean the latest printed edition of each is in effect at the date of submission or bid unless the document is shown dated.
- A copy of the approved plan must be on site whenever construction is in progress.
- Paved surfaces including roadways, sidewalks, and curbs that are damaged by new construction shall be repaired as required by the street use inspector.
- All locations of existing utilities shown herein have been established by a field survey or obtained from available records and should be considered approximate only and not necessarily complete. It is the sole responsibility of the contractor to independently verify the accuracy of all utility locations shown and to further discover and avoid any other utilities not shown herein which may be affected by the implementation of this plan.
- The Contractor shall locate and protect all castings and utilities during construction and shall contact the underground utilities locator service (1-800-424-5555) at least 48 hours prior to construction.
- Utility Service connections shown on this plan are to be maintained privately and not by the City of Mercer Island.
- The Contractor shall provide and maintain temporary sedimentation collection facilities to insure that sediment-laden water doesn't enter the natural or public drainage system. As construction progresses and unexpected (seasonal) conditions dictate, more siltation control facilities may be required to insure complete siltation control of the project. Therefore, during the course of construction it shall be the obligation and responsibility of the contractor to address any new conditions that may be created by his/her activity and to provide additional facilities that may be needed to protect adjacent properties.
- The Contractor shall keep off-site streets clean at all times by sweeping. Washing of these streets will not be allowed without prior approval.
- All work performed by public utility entities to remove or relocate existing utilities shall be done at the permittee's expense.
- Interpretations:
 - These documents are in part diagrammatic and subject to interpretation.
 - They do not necessarily show complete details of construction, work, or materials, performance or installation, and do not necessarily show how construction details of other items of the work may affect any particular installation.
 - These must be ascertained by the contractor and correlated to bring the parts together as a completed whole.
 - Any detail, dimension, or statement not completely clear to the Contractor shall be referred to the Architect for interpretation.
- Dimensions:
 - The drawings may not be drawn to scale in some instances; follow dimensions but do not scale drawings.
 - Where dimensions are noted "confirm" or "verify", consult the Architect for critical dimension criteria before proceeding with the work.
 - All dimensions are given to the face of existing finish materials, and to the face of studs or concrete, top of plate and plywood sub-floor at new construction, unless noted otherwise.

PROJECT NOTES:

CARBON MONOXIDE & SMOKE DETECTOR NOTES:

- All new detectors to be COMBINATION smoke AND carbon monoxide detectors.
- All new detectors to be hard-wired with battery back-up.
- Detectors shall be installed in accordance with the approved manufacturer's instruction and in accordance with UL217 and NFPA 72.
- Detectors shall be interconnected such that when one alarm is activated all remaining alarms are activated.

STAIR NOTES:

- Walls and soffits of enclosed usable space underneath the stair shall be protected on the enclosed side as required for one-hour fire-resistive construction.
- Guardrails shall be no less than 36 inches in height with a maximum spacing between intermediate rails to prevent passage of 4-inch sphere.
- Handrails shall be continuous, located between 34"-38" above stair nosing with grasp dimensions between 1.25" and 2".
- Handrails shall terminate at either a newel post or safety terminal
- Treads shall be a minimum of 10" deep and risers shall be a maximum of 7-3/4" high. Clear space between open risers shall be 3/8" maximum.
- Stairways shall have a minimum clear width of 36" and ceilings shall be a minimum of 6'-8" vertically above nosing
- Outdoor stairs and their approaches shall be designed so that water will not accumulate on walking surfaces

GLAZING NOTES:

- Window schedule is for planning purposes only. GC to verify Locations, Rough Openings, Swing Directions and Lamination / Tempering requirements prior to fabrication.
- U-factors of fenestration products (windows, doors and skylights) shall be determined in accordance with NFRC 100 by an accredited, independent laboratory, and labeled and certified by the manufacturer.
- Provide Laminated / Tempered glazing per code at the following locations:
 - Windows/sidelights where the nearest vertical edge is within a 24" arc of the door and whose bottom edge is less than 60" above the nearest walking surface;
 - Glazing that is 18" or less above adjacent walking surface;
 - Sloped glazing acting as skylights;
 - All other locations required by applicable codes.

WHOLE HOUSE VENTILATION NOTES:

- Follow all applicable requirements of the 2018 IRC Chapter 15.
- Follow prescriptive whole house ventilation system for intermittent whole house ventilation using exhaust fans (section M1507).
- Exhaust fans operating as "Whole House Ventilation" to be activated by one overriding 24 hour timer with the capability of continuous operation, manual and automatic control.
- All exhaust ducts shall terminate outside the building.
 - Outdoor air shall be distributed to each habitable room by individual outdoor air inlets per 1507.3.5.3.
 - Calculations: Per Table M1507.3.3(1) - 2141.64 sf; 4br; 75 cfm required.
 - Per exception of M1507.3.3 - 25% factor (4) - 300 cfm required for 1hr every 4hrs.
 - Fan within new Powder Room @ 110 cfm.
 - Fans within existing (2) Bathrooms @ 110 cfm.
 - Fan within existing Utility Room @ 110 cfm.
 - Total 440 cfm (MIN 300 cfm) shall act as the ventilation system and operate in unison for 1hr of every 4hrs per SRC M1507.3.4.

ATTIC/ROOF VENTILATION NOTES: see Section R806 of the 2018 International Residential Code for further ventilation requirements

- Attic ventilation shall be provided at no less than 1/300 of the total cavity area if at least 40% but no more than 50% of the ventilation is placed no more than 36" from ridge.
- Provide approved bug screen at all ventilation as req'd.
- Provide 1" min. clearance above insulation for ventilation.
- Place no soffit venting within 5'-0" of property line.

ADDITIONAL ENERGY CODE NOTES:

- A Residential Energy Compliance Certificate complying with WSEC R401.5 is required to be completed by the builder and permanently posted within 3' of the electrical panel prior to Final Inspection.
- Each dwelling unit is required to be provided with at least one programmable thermostat for the regulation of temperature in compliance with WSEC R403.1.1.
- A signed affidavit documenting the duct leakage test results in compliance with WSEC R403.2.2 shall be provided to the building inspector prior to an approved final inspection.
- A minimum of 75 percent of permanently installed lamps in lighting fixtures shall be high-efficacy lamps.
- All exterior lighting shall be high efficacy luminaires.
- A signed affidavit documenting blower door test results in compliance with WSEC R402.4.1.2 shall be provided to the building inspector prior to an approved final inspection.

PROJECT/CODE SUMMARY:

ALL WORK TO BE COMPLETED IN COMPLIANCE WITH THE NEWEST VERSION OF THE FOLLOWING CODES AND REGULATIONS AS REQ'D

2018 INTERNATIONAL RESIDENTIAL CODE	2018 UNIFORM PLUMBING CODE
2018 INTERNATIONAL FIRE CODE	2020 WA CITIES ELECTRICAL CODE
2018 INTERNATIONAL MECHANICAL CODE	2018 WA STATE ENERGY CODE

LOT COVERAGE DIAGRAM

1" = 40'-0"

SFR DEVELOPMENT STANDARDS:

19.02.020 D.1.b - Gross Floor Area
R-9.6: 8,000 sf or 40% of lot area, whichever is less; *measured from exterior facing of framing

8,000 sf allowable gross floor area

- EXISTING BASEMENT - 1685.42 sf
- EXISTING MAIN LEVEL - 2293.51 sf
(total GSF 3,978.93) / (total lot area 40,791.13 sf) = 9.75% GSF of total lot area

19.02.020 F.3.a - Landscaping Requirement

*For lots with a slope btwn 30-50% ==> 30% maximum lot coverage (house, driving surfaces, and accessory structures)

30% * (total lot area 40,791.13 sf) = 12,237.34 sf allowable lot coverage

- EXISTING HOUSE ROOF - including gutters & fascias - (minus removed 15.87) = 3001.67 sf
- EXISTING DRIVEWAY - 2483.35 sf
- NEW ROOF OVER DECK - 334.31 sf (includes gutters, fascias, skylights)

(total lot coverage 5,814.33 sf) / (total lot area 40,791.13 sf) = 14.25% total lot coverage

*Required Landscaping Area - 70%

70% * (total lot area 40,791.13 sf) = 28,553.79 sf required landscaping area

19.02.020 F.3.b - Hardscape

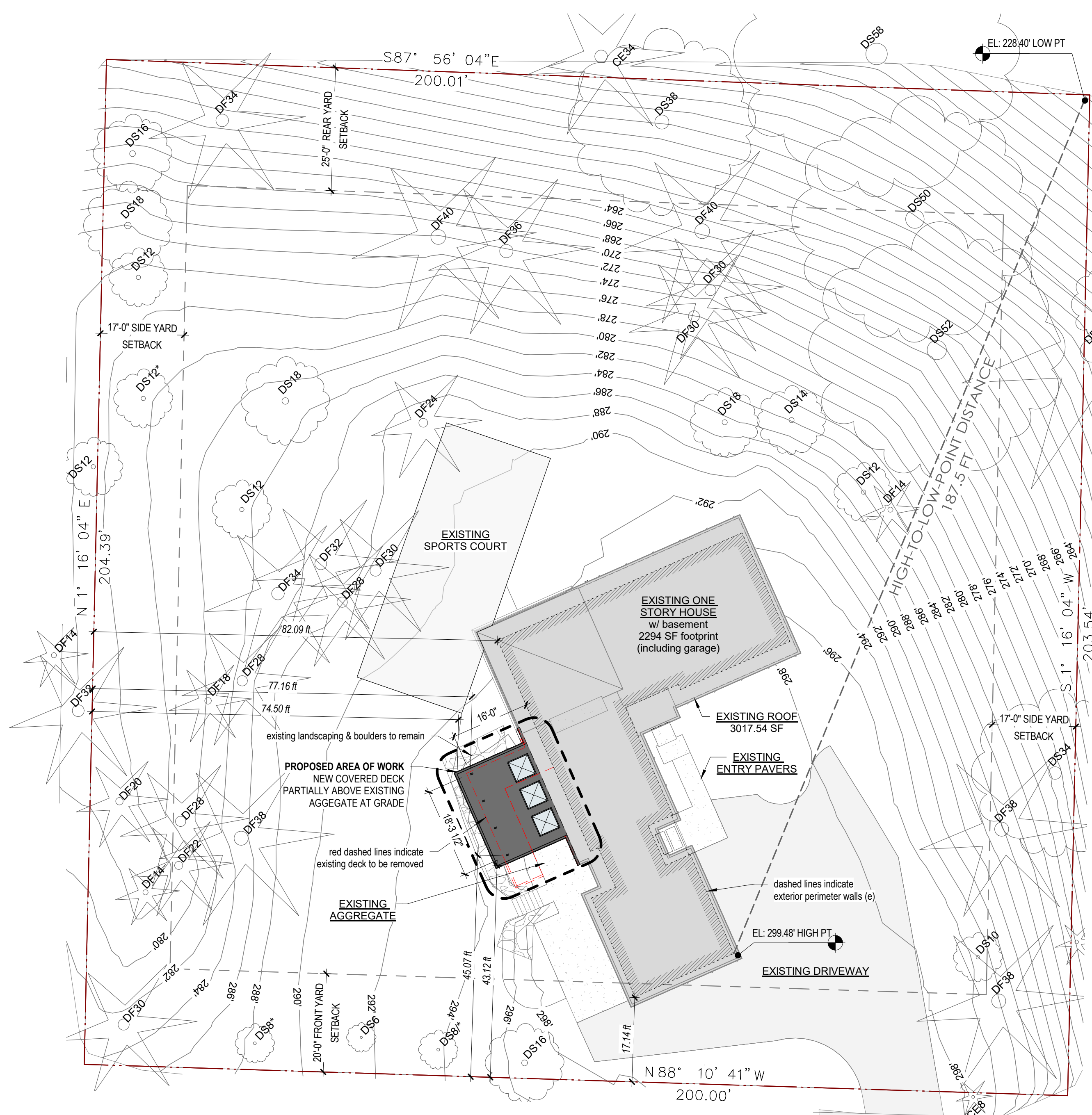
*Maximum of 9% of total lot area may consist of hardscape improvements including, but not limited to, walkways, decks, etc..

9% * (total lot area 40,791.13 sf) = 3,671.20 sf allowable

- EXISTING DECK (not covered by main house roof) - 26.27 sf
- EXISTING ENTRY PAVERS (not covered by main house roof) - 161 sf
- EXISTING AGGREGATE - 362.48 sf
(remaining aggregate not covered by new roof over deck; includes site steps)

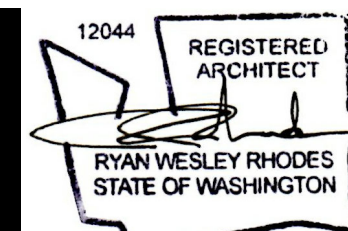
- EXISTING SITE STEPS (to yard from aggregate patio) - 20.79 sf
- EXISTING BOULDERS @ deck - 170.87 sf
- EXISTING SPORT COURT - 1216.67 sf

(total hardscape 1,958.08 sf) / (total lot area 40,791.13 sf) = 4.8% total hardscape



PROPOSED SITE PLAN

1/16" = 1'-0"



Project
18-04
number

Deck Alterations to:
STOKKE RESIDENCE
5005 88th Ave SE
Mercer Island, WA 98040

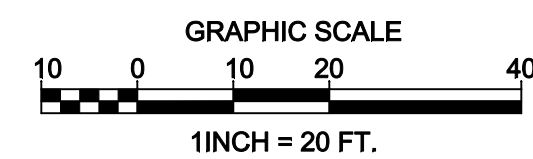
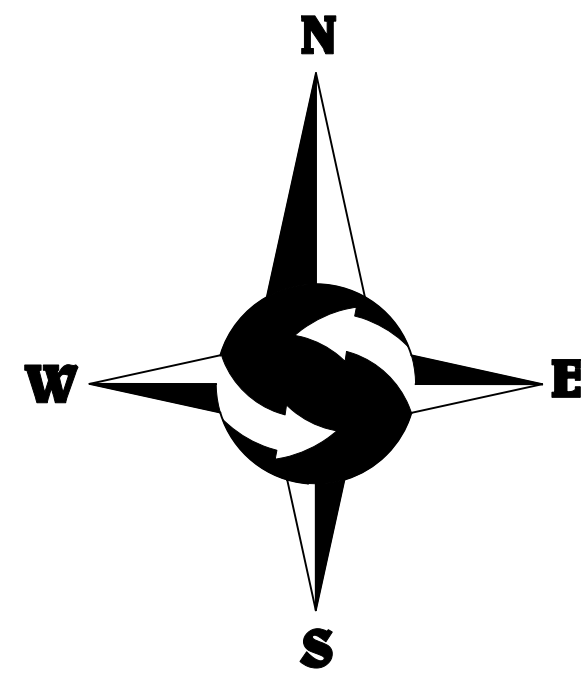
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Issue # REVISION

PROJECT NOTES, SITE PLAN & VICINITY MAP

03/03/2021

sheet
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LEGEND

- | | | | |
|------|---|-------------------------|--------------------|
| ○ | FOUND MONUMENT AS DESCRIBED | —OHP— | OVERHEAD POWER |
| ○ | FOUND REBAR AS DESCRIBED | —OHU— | OVERHEAD UTILITIES |
| ○ | TACK IN LEAD FOUND | —X— | CHAINLINK FENCE |
| ● | SET 5/8" X 24" IRON ROD WITH YELLOW PLASTIC CAP | —□— | WOOD FENCE |
| ⊠ | POWER METER | ▨ | CONCRETE WALL |
| ⊙ | UTILITY POLE | ⬜ | ROCKERY |
| ⊙ | GAS METER | ⬜ | ASPHALT SURFACE |
| ⊙ | SANITARY SEWER CLEANOUT | ⬜ | CONCRETE SURFACE |
| ⊙ | SANITARY SEWER MANHOLE | ⬜ | GRAVEL SURFACE |
| ⊙ | WATER VALVE | ⬜ | |
| ⊙ | FIRE HYDRANT | CE | CEDAR |
| ⊙ | WATER METER | DS | DECIDUOUS |
| —SS— | APPROXIMATE LOCATION SANITARY SEWER LINE | SP | SPRUCE |
| —SD— | APPROXIMATE LOCATION STORM DRAIN LINE | BI | BIRCH |
| | | PI | PINE |
| | | * INDICATES MULTI-TRUNK | |

LEGAL DESCRIPTION

PARCEL A: THAT PORTION OF THE SOUTH HALF OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 19, TOWNSHIP 24 NORTH, RANGE 5 EAST, W.M., IN KING COUNTY, WASHINGTON DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHEAST CORNER OF SAID SUBDIVISION; THENCE NORTH 0°02'18" EAST ALONG THE EASTERLY LINE THEREOF 450.00 FEET TO THE TRUE POINT OF BEGINNING; THENCE NORTH 88°24'27" WEST 140.00 FEET; THENCE NORTH 0°02'18" EAST PARALLEL WITH THE EASTERLY LINE OF SAID SUBDIVISION 204.135 FEET; THENCE SOUTH 89°09'50" EAST 140.00 FEET TO THE EASTERLY LINE OF SAID SUBDIVISION; THENCE SOUTH 0°02'18" WEST ALONG SAID EASTERLY LINE 203.54 FEET TO THE TRUE POINT OF BEGINNING.

PARCEL B: THE EAST 80 FEET OF THAT PORTION OF THE SOUTH HALF OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 19, TOWNSHIP 24 NORTH, RANGE 5 EAST, W.M., IN KING COUNTY, WASHINGTON DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHEAST CORNER OF SAID SUBDIVISION; THENCE NORTH 0°02'18" EAST ALONG THE EASTERLY LINE THEREOF 450.00 FEET; THENCE NORTH 89°24'27" WEST 140.00 FEET TO THE TRUE POINT OF BEGINNING; THENCE NORTH 89°24'27" WEST 680.00 FEET; THENCE NORTH 0°02'18" EAST PARALLEL WITH THE EASTERLY LINE OF SAID SUBDIVISION 205.24 FEET; THENCE SOUTH 89°09'50" EAST 280.00 FEET; THENCE SOUTH 0°02'18" WEST 204.135 FEET TO THE TRUE POINT OF BEGINNING.

PARCEL C: AN EASEMENT FOR ROAD PURPOSES OVER THE EAST 30 FEET OF THE SOUTH 400 FEET OF THE SOUTH HALF OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER, AND OVER THE 40 FEET OF THE NORTH 50 FEET OF THE SOUTH 450 FEET OF SAID SUBDIVISION.

SITUATE IN THE CITY OF MERCER ISLAND, COUNTY OF KING, STATE OF WASHINGTON.

BASIS OF BEARINGS

RECORD OF SURVEY BY AXIS SURVEY AND MAPPING FOR JOHN STOKKE AS RECORDED UNDER RECORDING NUMBER 20100826900002, RECORDS OF KING COUNTY, WASHINGTON.

PROJECT INFORMATION

SURVEYOR: SITE SURVEYING, INC.
21923 NE 11TH ST
SAMMAMISH, WA 98074
PHONE: 425.298.4412

PROPERTY OWNER: JOAHN + SHANNON STOKKE
5005 88TH AVENUE SE
MERCER ISLAND, WA 98040

TAX PARCEL NUMBER: 192405-9140

PROJECT ADDRESS: 5005 88TH AVENUE SE
MERCER ISLAND, WA 98040

ZONING: R-8.6

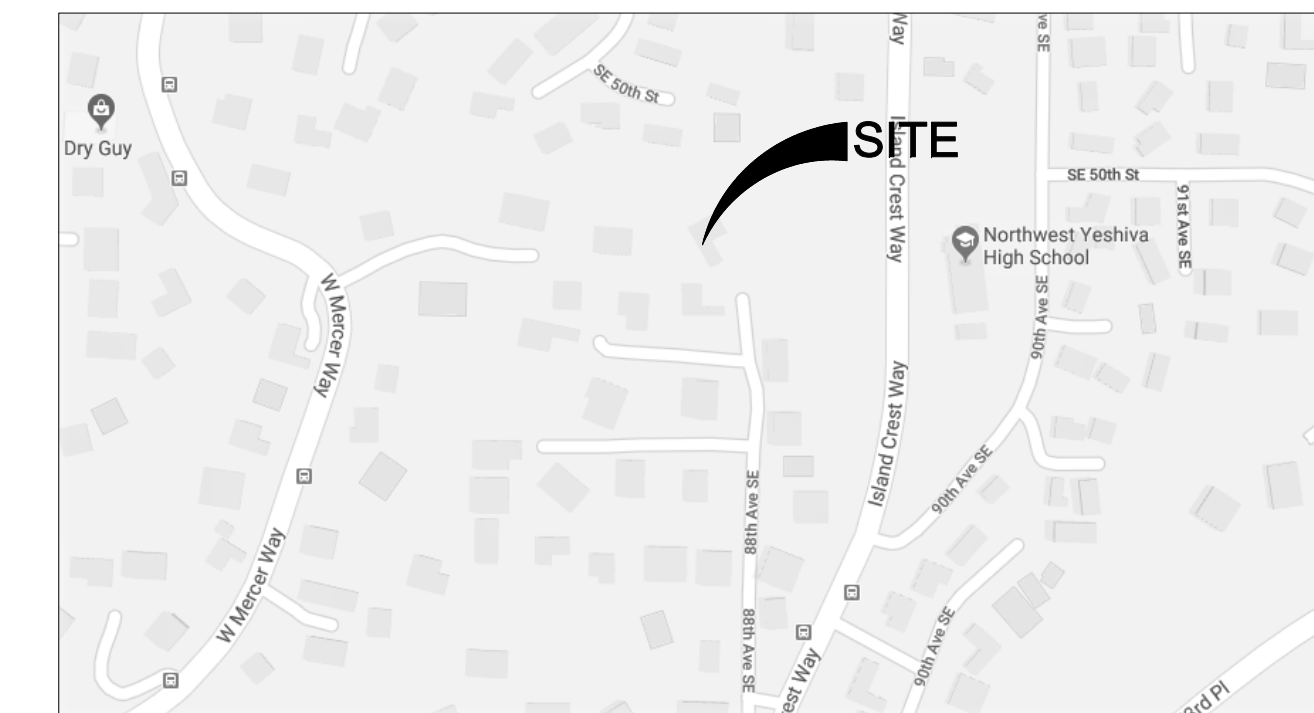
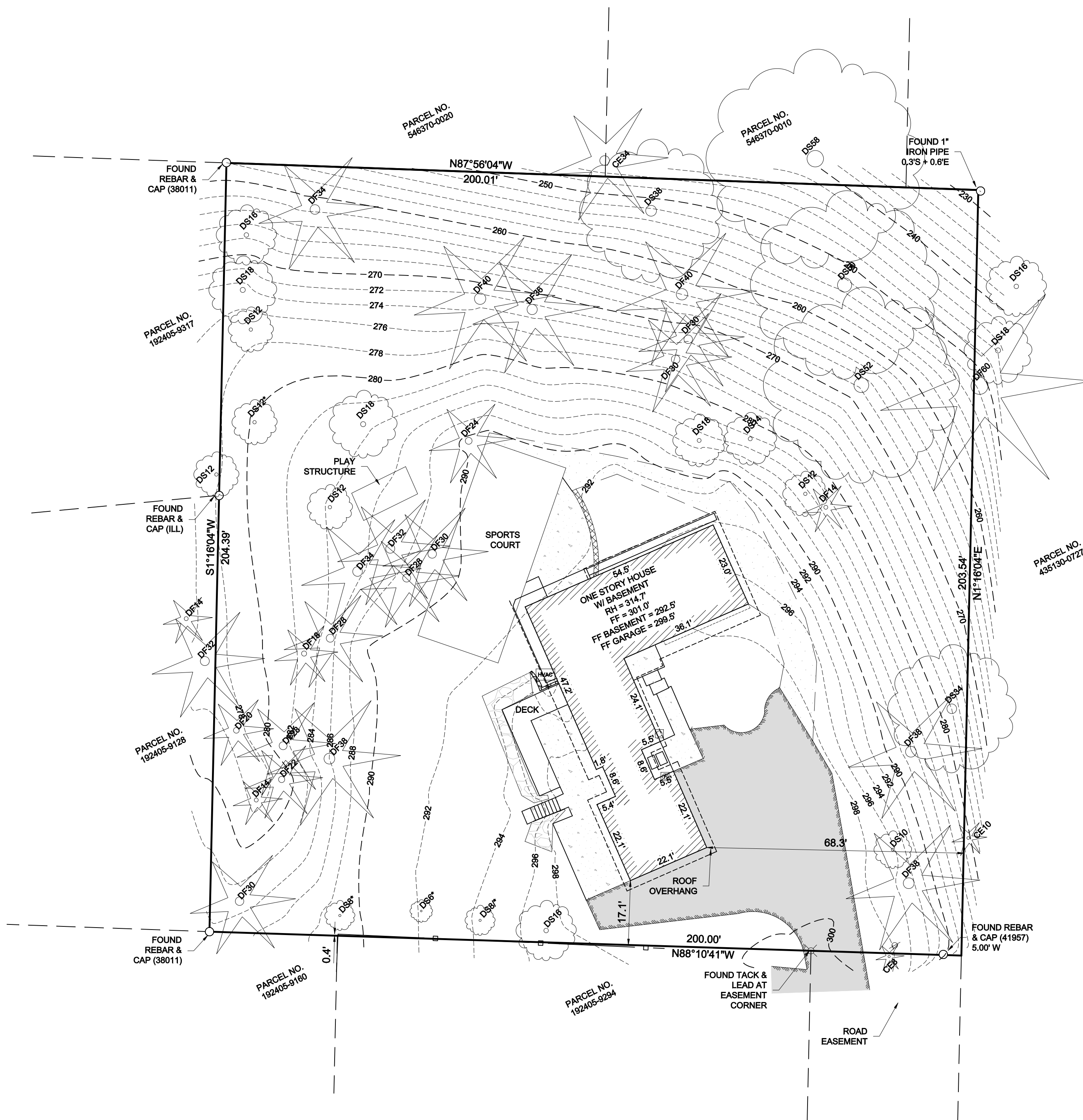
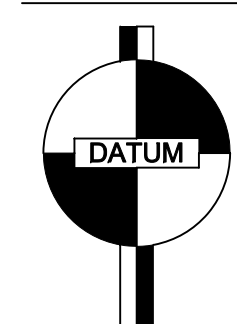
JURISDICTION: CITY OF MERCER ISLAND

PARCEL ACREAGE: 40.791 S.F. (± 0.936 ACRES)
AS SURVEYED

VERTICAL DATUM & CONTOUR INTERVAL

ELEVATIONS SHOWN ON THIS DRAWING ARE ON AN ASSUMED DATUM.

2.0' CONTOUR INTERVAL - THE EXPECTED VERTICAL ACCURACY IS EQUAL TO 1/2 THE CONTOUR INTERVAL OR PLUS / MINUS 1.0' FOR THIS PROJECT.



VICINITY MAP
NTS

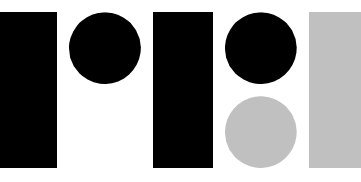


NW 1/4, NW 1/4, SEC 19, TWP 24N, RNG 5E, W.M.

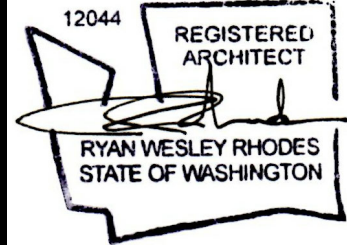
TOPOGRAPHIC SURVEY

JOHN + SHANNON STOKKE
5005 88TH AVENUE SE
MERCER ISLAND, WA 98040

PROJECT NO. 18-082
DRAWN BY: EFJ
CHECKED BY: TNW
DATE: 3/21/18
SHEET 1 OF 1



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 303 Nickerson Street | Seattle, WA
 ryanrhodesdesigns.com | 206.632.1818



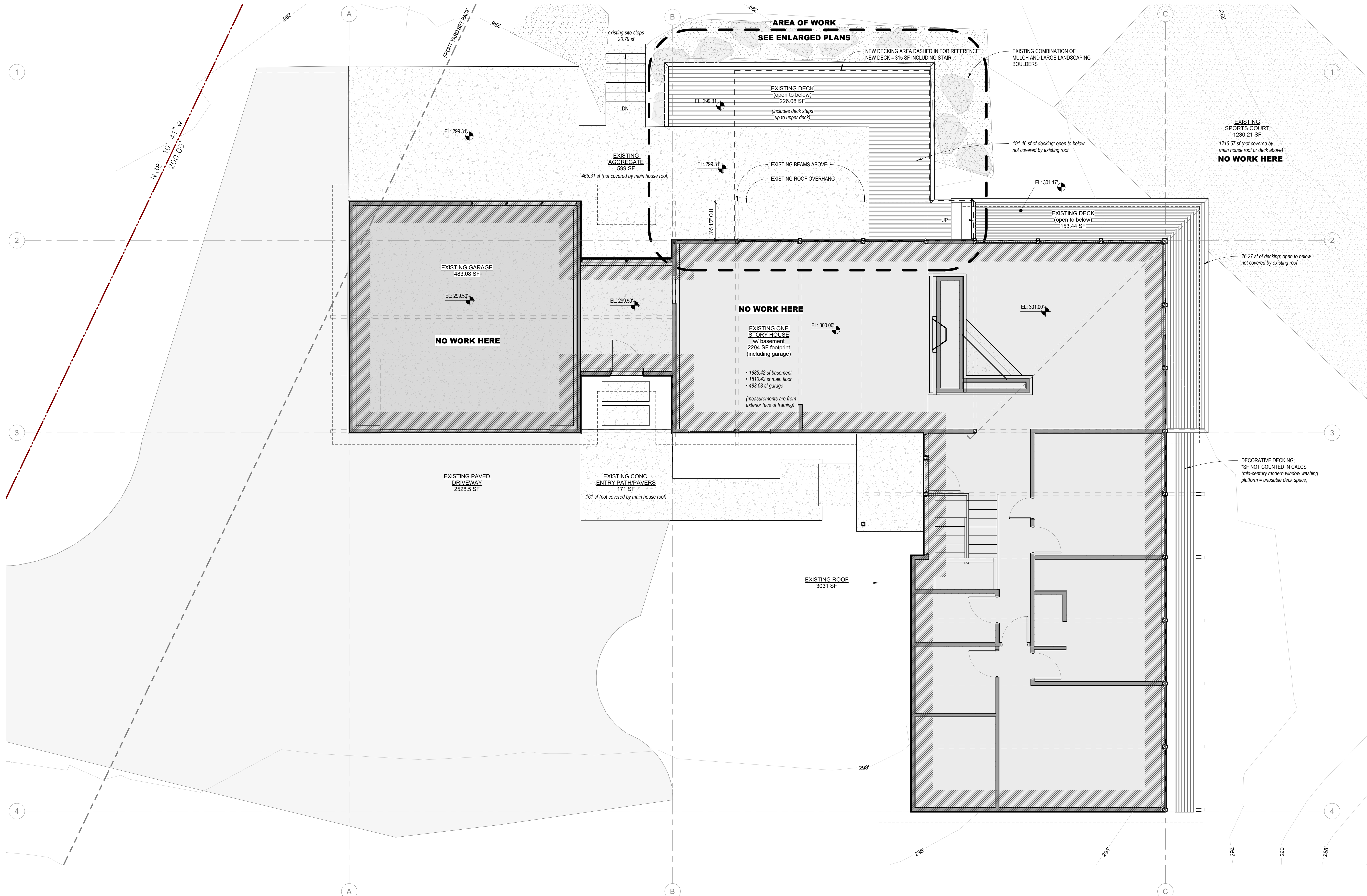
Project
 18-04
 number

Deck Alterations to:
STOKKE RESIDENCE
 5005 88th Ave SE
 Mercer Island, WA 98040

Issue # REVISION DATE

Permit Set
EXISTING MAIN FLOOR PLAN
 SCALE @ 1/4" = 1'-0"

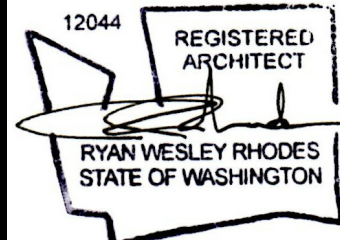
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EXISTING MAIN FLOOR PLAN
 1/4" = 1'-0"

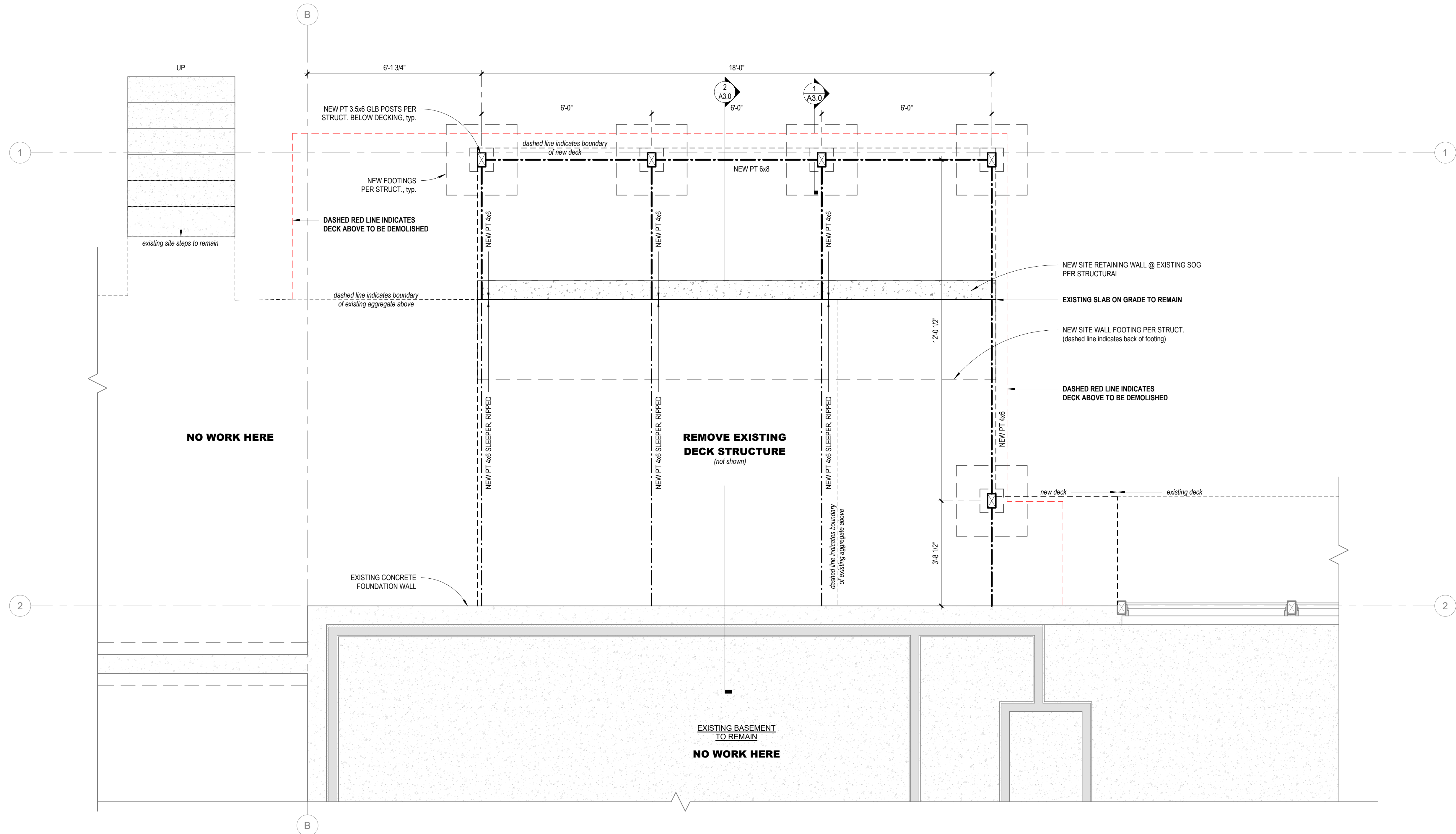
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GENERAL PLAN NOTES:

1. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN PARTITION LOCATIONS, DIMENSIONS AND TYPES. DOOR AND WINDOW LOCATIONS SHALL BE AS SHOWN ON CONSTRUCTION PLAN. IN CASE OF CONFLICT, NOTIFY ARCHITECT FOR WRITTEN CLARIFICATION PRIOR TO PROCEEDING WITH CONSTRUCTION. COMMENCEMENT OF WORK SHALL BE DEEMED AS THE GC'S ACKNOWLEDGMENT OF ALL WORK TO COMPLETE PROJECT IN CONFORMANCE WITH CONTRACT DOCUMENTS AND SCHEDULE.
2. GENERAL CONTRACTOR TO REVIEW ALL DOCUMENTS AND VERIFY ALL DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT WORK IS BUILDABLE AS SHOWN IN DRAWINGS. ANY CONFLICTS OR OMISSIONS SHALL BE IMMEDIATELY REPORTED TO THE ARCHITECT FOR CLARIFICATION PRIOR TO PROCEEDING WITH WORK IN QUESTION OR ORDERING MATERIALS FOR WORK.
3. JOB SITE SHALL BE KEPT CLEAN AND SAFE DURING ALL PHASES OF CONSTRUCTION.
4. PROTECT BUILDING FROM WATER DAMAGE DURING ALL PHASES OF CONSTRUCTION.
5. GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY UTILITIES, NOT COVERED IN THE CONSTRUCTION/DEMOLITION DOCUMENTS, WHICH MAY INTERFERE WITH COMPLETING THE WORK. WHEN REMOVAL IS APPROVED BY THE ARCHITECT, GENERAL CONTRACTOR SHALL INSPECT, TEST, AND DISCONNECT THE SPECIFIED UTILITY, CUT BACK TO SOURCE AND CAP.
6. ALL PARTITIONS ARE DIMENSIONED FROM FACE OF FRAMING, UNLESS OTHERWISE NOTED.
7. ALL DIMENSIONS MARKED "CLR" OR "CLR" SHALL BE MAINTAINED AND SHALL ALLOW FOR THICKNESS OF ALL FINISHES INCLUDING FLOOR FINISHES.
8. DIMENSIONS SHOWN AS V.I.F. SHALL BE VERIFIED BY THE CONTRACTOR IN THE FIELD. CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DISCREPANCY IN DIMENSIONS PRIOR TO PROCEEDING WITH THE WORK IN THAT AREA.
9. "ALIGN" SHALL MEAN ACCURATELY LOCATE FINISH FACES IN THE SAME PLANE.
10. "TYPICAL" OR "TYP" SHALL MEAN THAT THE CONDITION IS REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT, UNLESS OTHERWISE NOTED. DETAILS ARE USUALLY KEYPED AND NOTED "TYP" ONLY ONCE, WHEN THEY FIRST OCCUR.
11. "SIMILAR" OR "SIM" MEANS COMPARABLE CHARACTERISTICS FOR THE CONDITIONS NOTED.
12. VERIFY DIMENSIONS AND ORIENTATION ON PLANS AND ELEVATIONS.
13. WORK AREAS TO REMAIN SECURE AND LOCKABLE DURING CONSTRUCTION. THE GENERAL CONTRACTOR SHALL COORDINATE WITH OWNER TO ENSURE SECURITY.
14. COORDINATE AND PROVIDE BACKING FOR MILLWORK AND ITEMS ATTACHED OR MOUNTED TO WALLS OR CEILINGS.
15. ALL MECHANICAL AND ELECTRICAL SCOPE OF WORK IS DESIGN/BUILD BY RESPECTIVE SUBCONTRACTORS. FIXTURE, GRILLE, SWITCH, AND OUTLET LOCATIONS SHOULD BE CONSIDERED DURING FRAMING - AND FINAL LOCATIONS SHOULD BE APPROVED BY ARCHITECT PRIOR TO INSTALLATION.



ENLARGED AREA OF WORK - BASEMENT
1/2" = 1'-0"

Project
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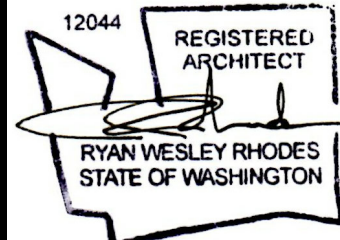
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Issue #
REVISION

Permit Set
ENLARGED AREA OF WORK - BASEMENT
SCALE @ 1/2" = 1'-0"

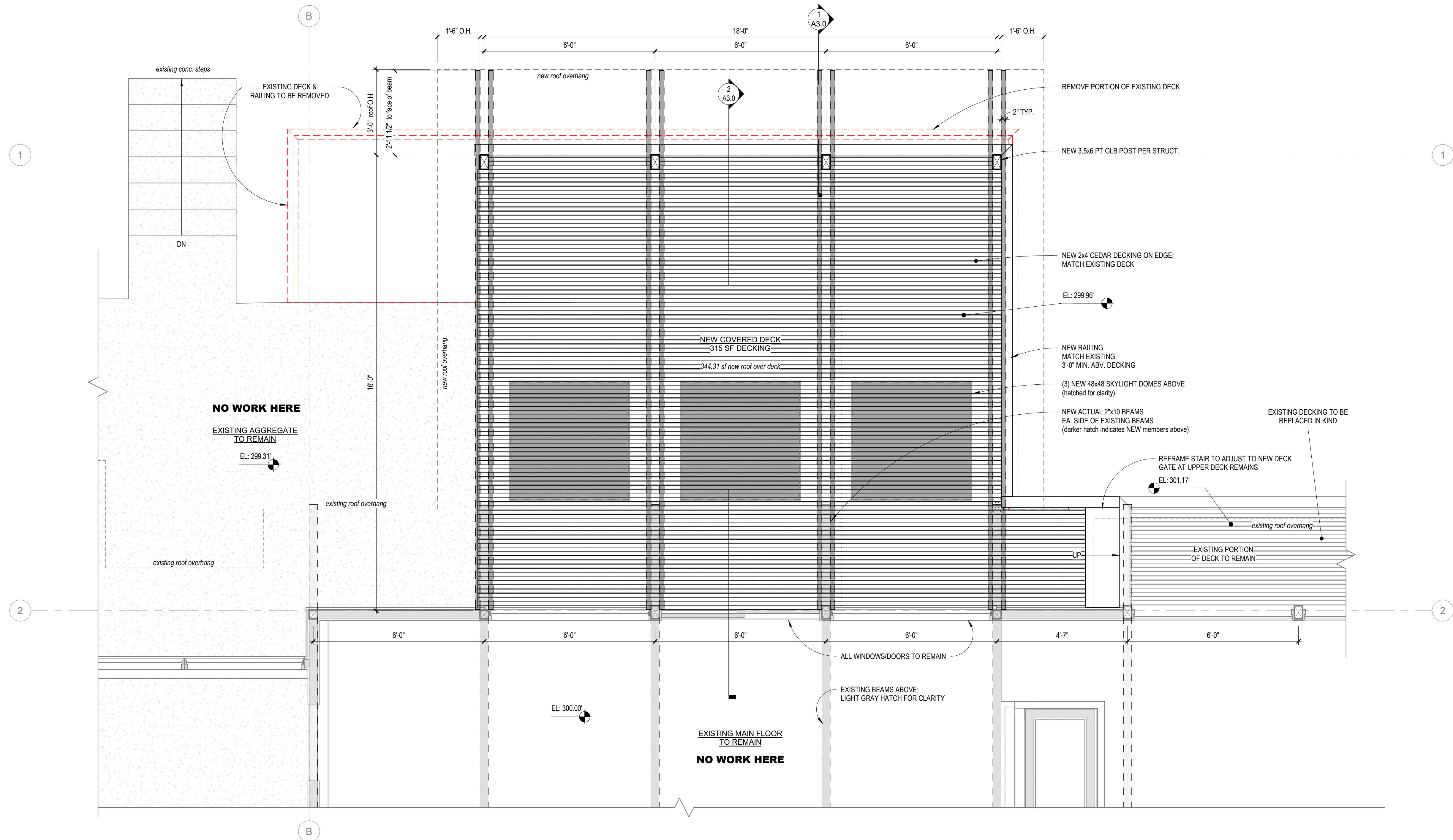
03/03/2021

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GENERAL PLAN NOTES:

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- JOB SITE SHALL BE KEPT CLEAN AND SAFE DURING ALL PHASES OF CONSTRUCTION.
- PROTECT BUILDING FROM WATER DAMAGE DURING ALL PHASES OF CONSTRUCTION.
- GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY UTILITIES, NOT COVERED IN THE CONSTRUCTION/DEMOLITION DOCUMENTS, WHICH MAY INTERFERE WITH COMPLETING THE WORK. WHEN REMOVAL IS APPROVED BY THE ARCHITECT, GENERAL CONTRACTOR SHALL INSPECT, TEST, AND DISCONNECT THE SPECIFIED UTILITY, CUT BACK TO SOURCE AND CAP.
- ALL PARTITIONS ARE DIMENSIONED FROM FACE OF FRAMING, UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS MARKED "CLEAR" OR "CLR" SHALL BE MAINTAINED AND SHALL ALLOW FOR THICKNESS OF ALL FINISHES INCLUDING FLOOR FINISHES.
- DIMENSIONS SHOWN AS V.I.F. SHALL BE VERIFIED BY THE CONTRACTOR IN THE FIELD. CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DISCREPANCY IN DIMENSIONS PRIOR TO PROCEEDING WITH THE WORK IN THAT AREA.
- "ALIGN" SHALL MEAN ACCURATELY LOCATE FINISH FACES IN THE SAME PLANE.
- "TYPICAL" OR "TYP" SHALL MEAN THAT THE CONDITION IS REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT, UNLESS OTHERWISE NOTED. DETAILS ARE USUALLY KEYS AND NOTED "TYP" ONLY ONCE, WHEN THEY FIRST OCCUR.
- "SIMILAR" OR "SIM" MEANS COMPARABLE CHARACTERISTICS FOR THE CONDITIONS NOTED.
- VERIFY DIMENSIONS AND ORIENTATION ON PLANS AND ELEVATIONS.
- WORK AREAS TO REMAIN SECURE AND LOCKABLE DURING CONSTRUCTION. THE GENERAL CONTRACTOR SHALL COORDINATE WITH OWNER TO ENSURE SECURITY.
- COORDINATE AND PROVIDE BACKING FOR MILLWORK AND ITEMS ATTACHED OR MOUNTED TO WALLS OR CEILINGS.
- ALL MECHANICAL AND ELECTRICAL SCOPE OF WORK IS DESIGNBUILD BY RESPECTIVE SUBCONTRACTORS. FIXTURE, GRILLE, SWITCH, AND OUTLET LOCATIONS SHOULD BE CONSIDERED DURING FRAMING - AND FINAL LOCATIONS SHOULD BE APPROVED BY ARCHITECT PRIOR TO INSTALLATION.



ENLARGED AREA OF WORK - MAIN FLOOR
1/2" = 1'-0"

Project
18-04
number

Deck Alterations to:
STOKKE RESIDENCE
5005 88th Ave SE
Mercer Island, WA 98040

DATE
Date 1

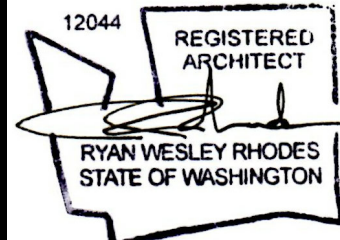
Issue

REVISION
Revision 1

Permit Set
ENLARGED AREA OF WORK - MAIN FLOOR
SCALE @ 1/2" = 1'-0"

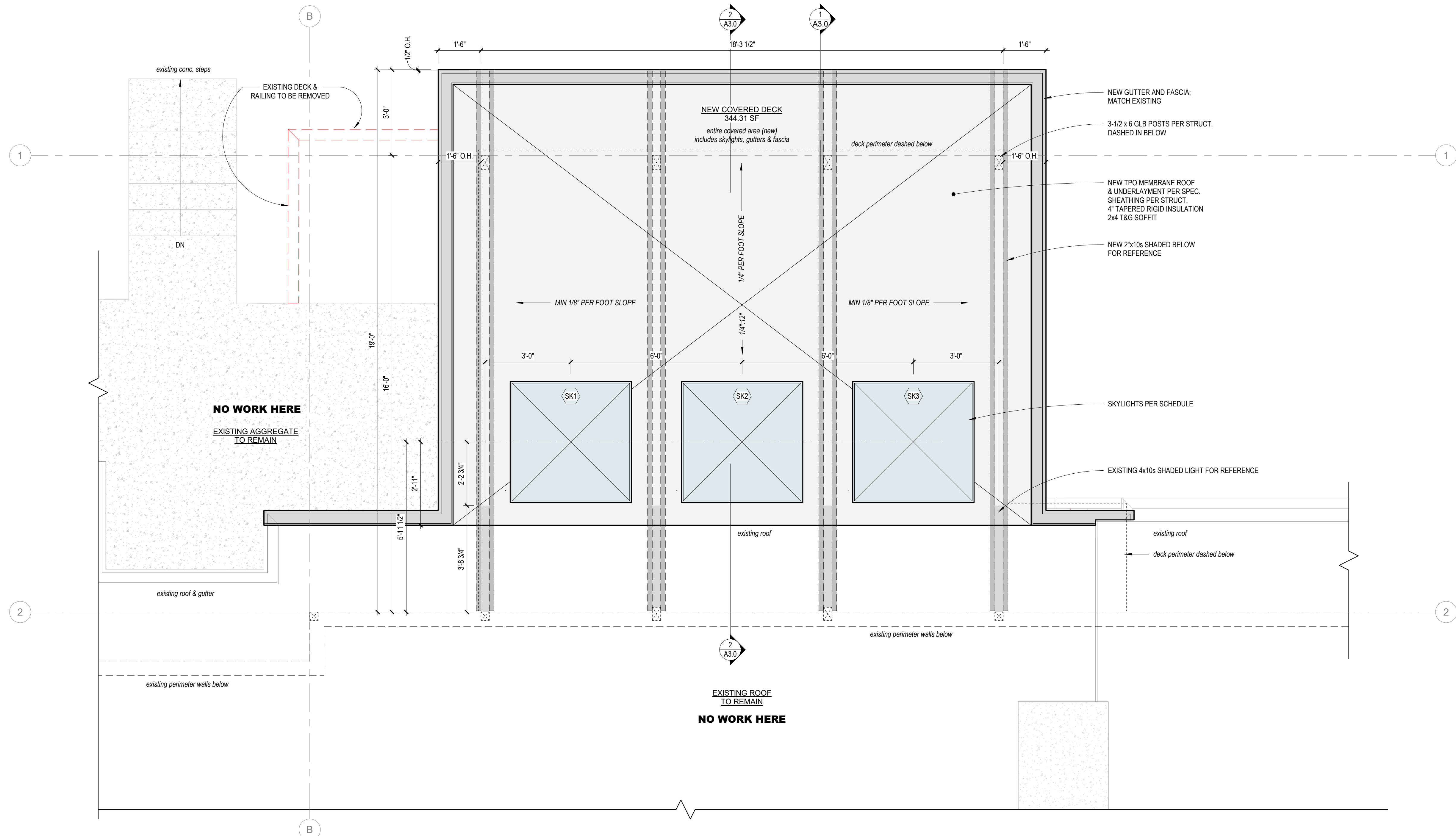
03/03/2021

sheet
A1.1
number



GENERAL PLAN NOTES:

- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN PARTITION LOCATIONS, DIMENSIONS AND TYPES. DOOR AND WINDOW LOCATIONS SHALL BE AS SHOWN ON CONSTRUCTION PLAN. IN CASE OF CONFLICT, NOTIFY ARCHITECT FOR WRITTEN CLARIFICATION PRIOR TO PROCEEDING WITH CONSTRUCTION. COMMENCEMENT OF WORK SHALL BE DEEMED AS THE GC'S ACKNOWLEDGMENT OF ALL WORK TO COMPLETE PROJECT IN CONFORMANCE WITH CONTRACT DOCUMENTS AND SCHEDULE.
- GENERAL CONTRACTOR TO REVIEW ALL DOCUMENTS AND VERIFY ALL DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT WORK IS BUILDABLE AS SHOWN IN DRAWINGS. ANY CONFLICTS OR OMISSIONS SHALL BE IMMEDIATELY REPORTED TO THE ARCHITECT FOR CLARIFICATION PRIOR TO PROCEEDING WITH WORK IN QUESTION OR ORDERING MATERIALS FOR WORK.
- JOB SITE SHALL BE KEPT CLEAN AND SAFE DURING ALL PHASES OF CONSTRUCTION.
- PROTECT BUILDING FROM WATER DAMAGE DURING ALL PHASES OF CONSTRUCTION.
- GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY UTILITIES, NOT COVERED IN THE CONSTRUCTION/DEMOLITION DOCUMENTS, WHICH MAY INTERFERE WITH COMPLETING THE WORK. WHEN REMOVAL IS APPROVED BY THE ARCHITECT, GENERAL CONTRACTOR SHALL INSPECT, TEST, AND DISCONNECT THE SPECIFIED UTILITY, CUT BACK TO SOURCE AND CAP.
- ALL PARTITIONS ARE DIMENSIONED FROM FACE OF FRAMING, UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS MARKED "CLEAR" OR "CLR" SHALL BE MAINTAINED AND SHALL ALLOW FOR THICKNESS OF ALL FINISHES INCLUDING FLOOR FINISHES.
- DIMENSIONS SHOWN AS V.I.F. SHALL BE VERIFIED BY THE CONTRACTOR IN THE FIELD. CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DISCREPANCY IN DIMENSIONS PRIOR TO PROCEEDING WITH THE WORK IN THAT AREA.
- "ALIGN" SHALL MEAN ACCURATELY LOCATE FINISH FACES IN THE SAME PLANE.
- "TYPICAL" OR "TYP" SHALL MEAN THAT THE CONDITION IS REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT, UNLESS OTHERWISE NOTED. DETAILS ARE USUALLY KEYED AND NOTED "TYP" ONLY ONCE, WHEN THEY FIRST OCCUR.
- "SIMILAR" OR "SIM" MEANS COMPARABLE CHARACTERISTICS FOR THE CONDITIONS NOTED.
- VERIFY DIMENSIONS AND ORIENTATION ON PLANS AND ELEVATIONS.
- WORK AREAS TO REMAIN SECURE AND LOCKABLE DURING CONSTRUCTION. THE GENERAL CONTRACTOR SHALL COORDINATE WITH OWNER TO ENSURE SECURITY.
- COORDINATE AND PROVIDE BACKING FOR MILLWORK AND ITEMS ATTACHED OR MOUNTED TO WALLS OR CEILINGS.
- ALL MECHANICAL AND ELECTRICAL SCOPE OF WORK IS DESIGN/BUILD BY RESPECTIVE SUBCONTRACTORS. FIXTURE, GRILLE, SWITCH, AND OUTLET LOCATIONS SHOULD BE CONSIDERED DURING FRAMING - AND FINAL LOCATIONS SHOULD BE APPROVED BY ARCHITECT PRIOR TO INSTALLATION.



ENLARGED AREA OF WORK - ROOF PLAN
1/2" = 1'-0"

SKYLIGHT SCHEDULE									
Mark	Frame Width	Frame Height	Manufacturer	Model No.	Glazing Type	U-Value	Operation	Description	Comments
SK1	49 1/2"	49 1/2"	VELUX	CG24949	polycarb or acrylic	N/A	fixed	acrylic dome curb skylight	match color to existing house skylights
SK2	49 1/2"	49 1/2"	VELUX	CG24949	polycarb or acrylic	N/A	fixed	acrylic dome curb skylight	
SK3	49 1/2"	49 1/2"	VELUX	CG24949	polycarb or acrylic	N/A	fixed	acrylic dome curb skylight	

Project
18-04
number

Deck Alterations to:
STOKKE RESIDENCE
5005 88th Ave SE
Mercer Island, WA 98040

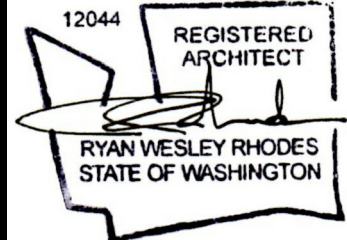
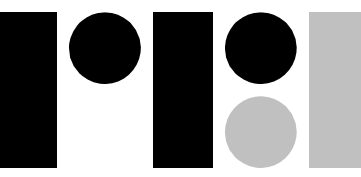
Date

Issue #
Revision

Permit Set
ENLARGED AREA OF WORK - ROOF PLAN
SCALE @ 1/2" = 1'-0"

03/03/2021

sheet
A1.2
number



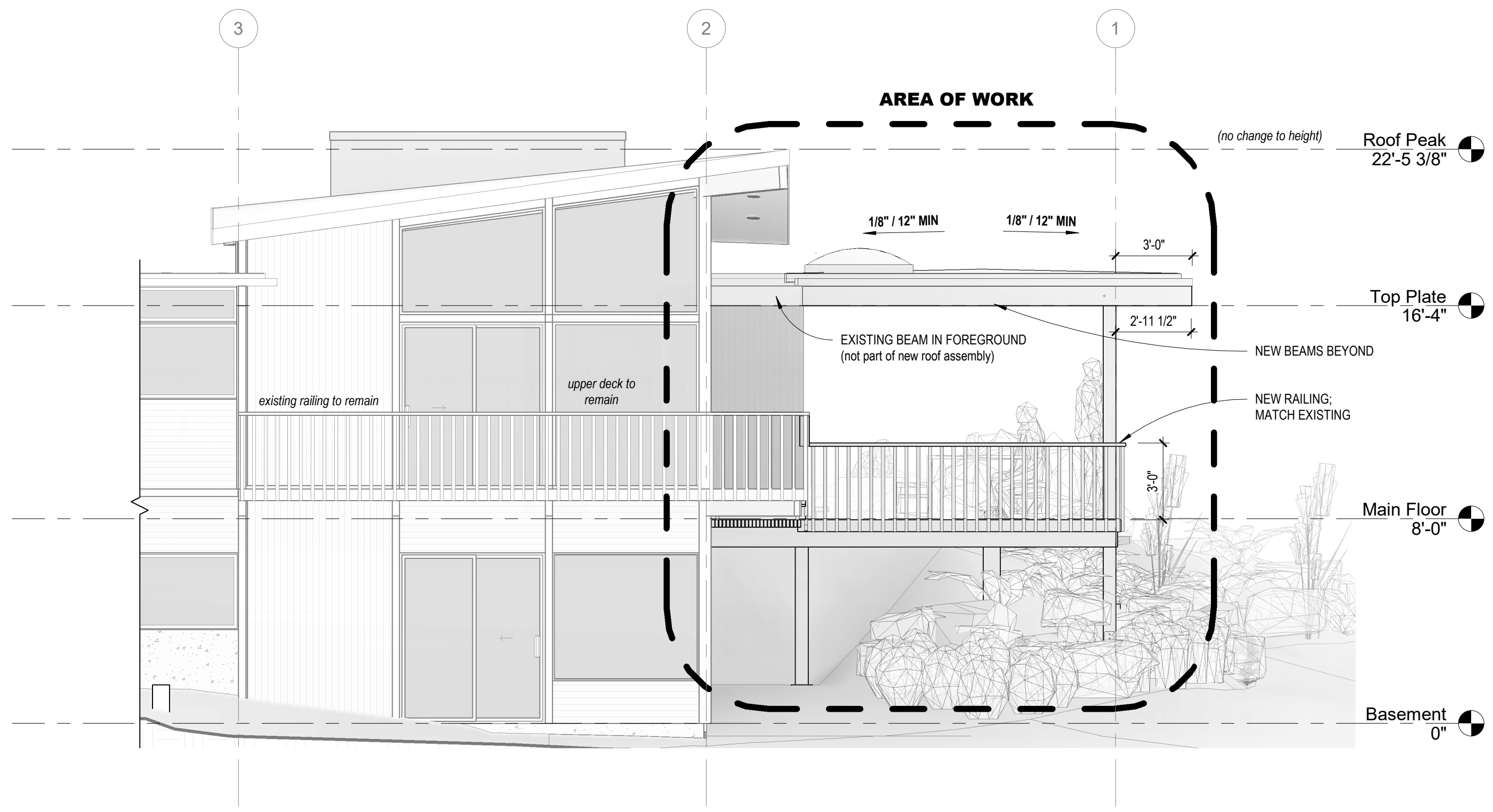
Project
18-04
number

Deck Alterations to:
STOKKE RESIDENCE
5005 88th Ave SE
Mercer Island, WA 98040

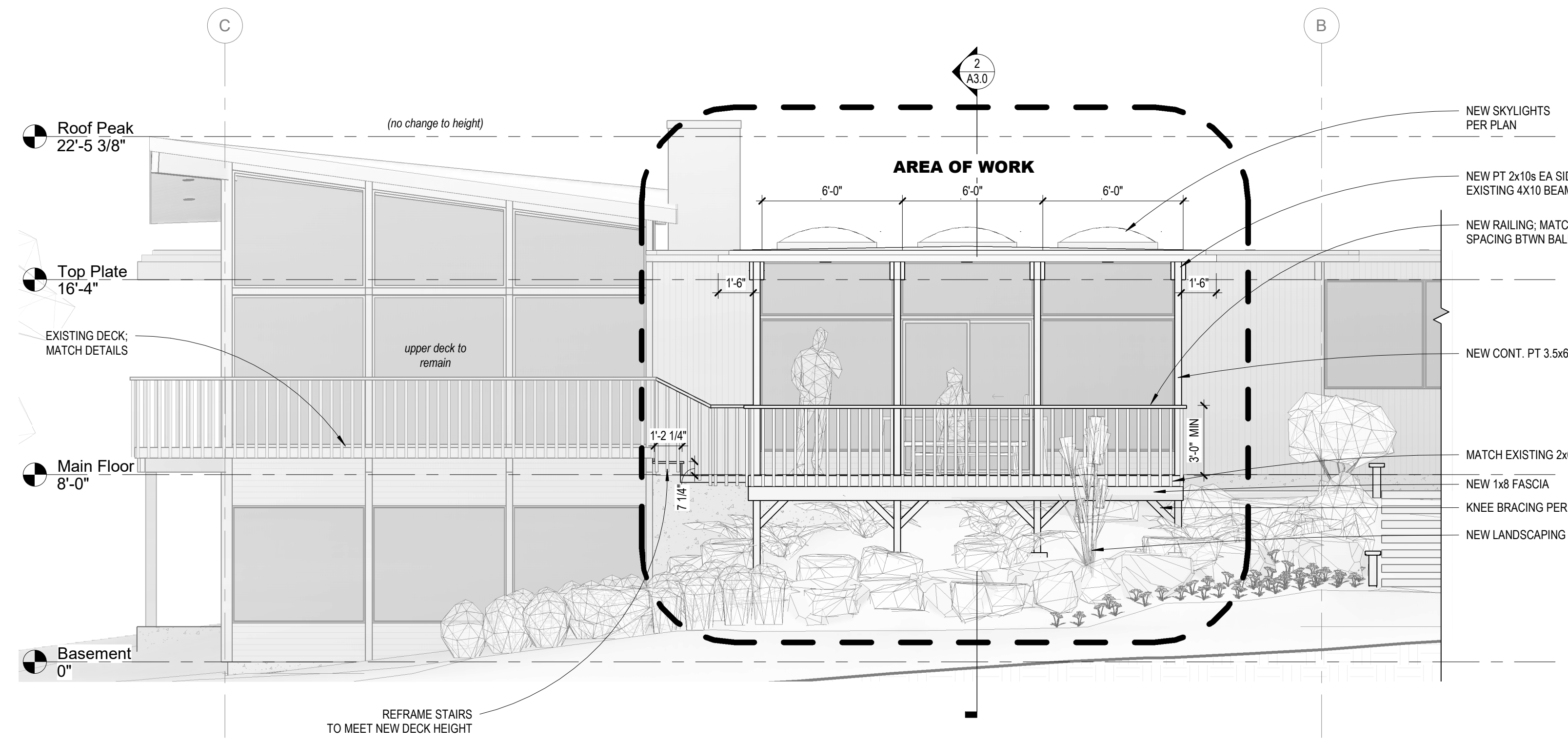
DATE
REVISION
ISSUE

Permit Set
EXTERIOR ELEVATIONS (partial)

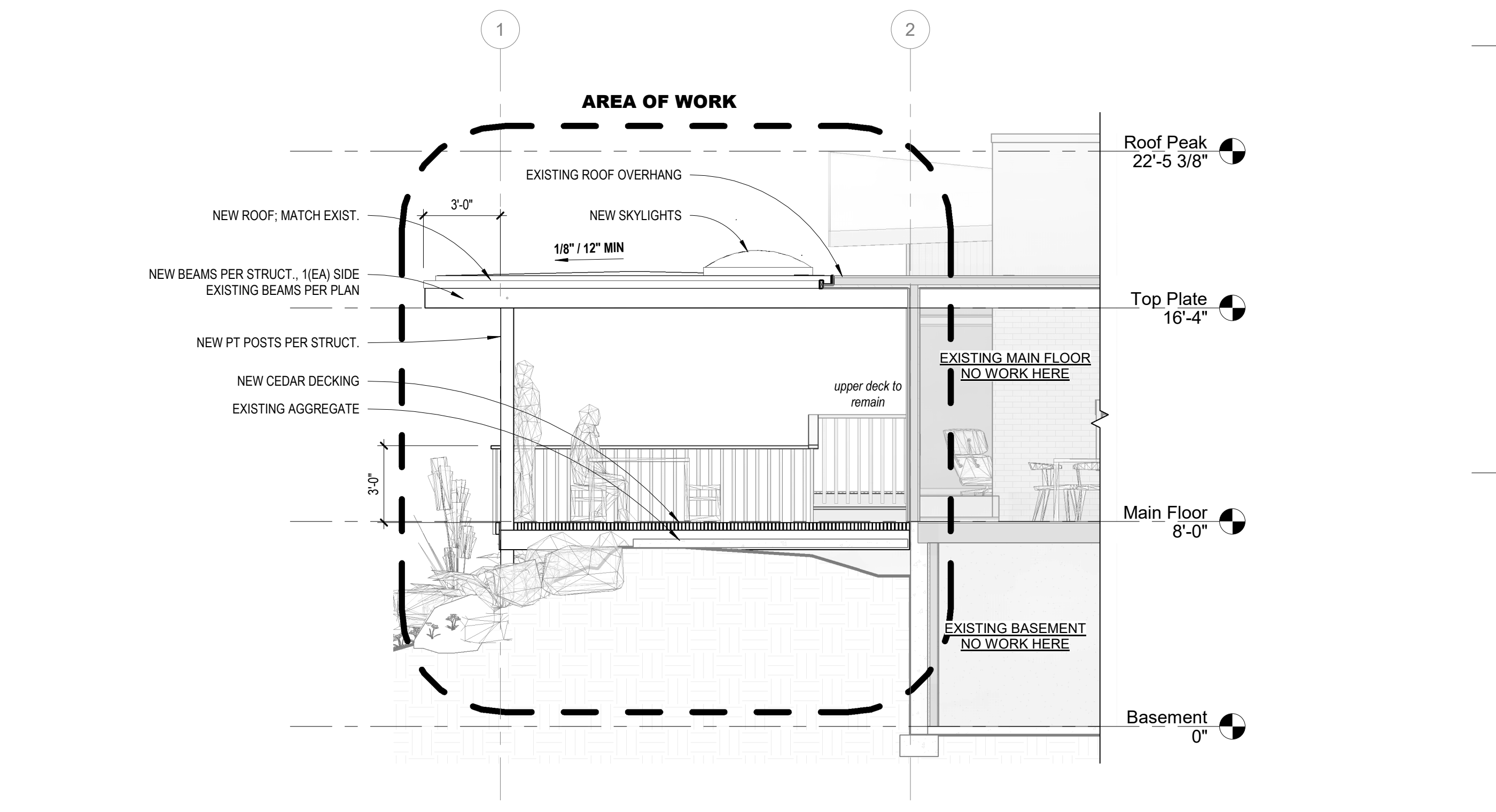
03/03/2021
sheet
A2.0
number



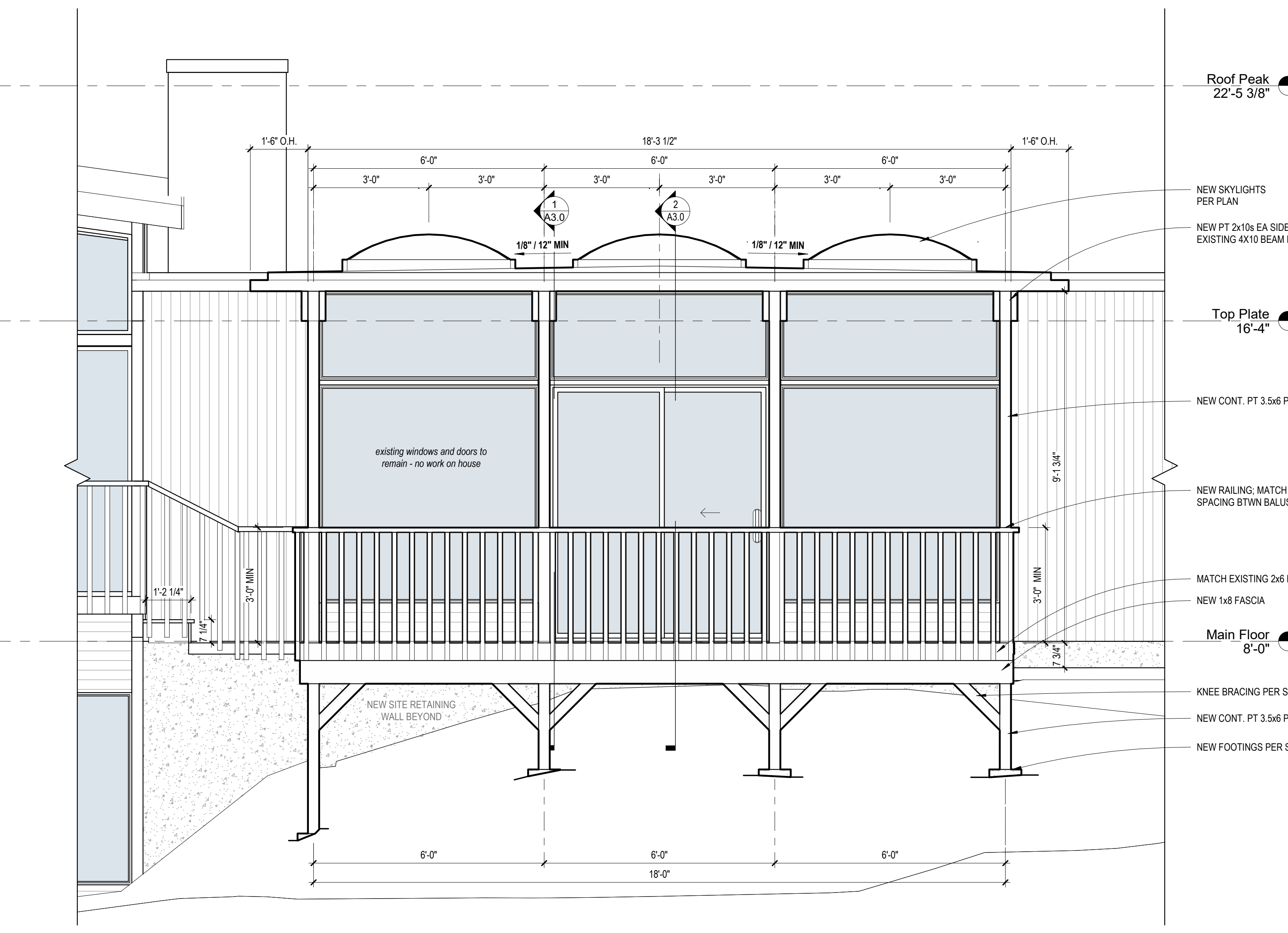
1 NORTH ELEVATION (partial)
1/4" = 1'-0"



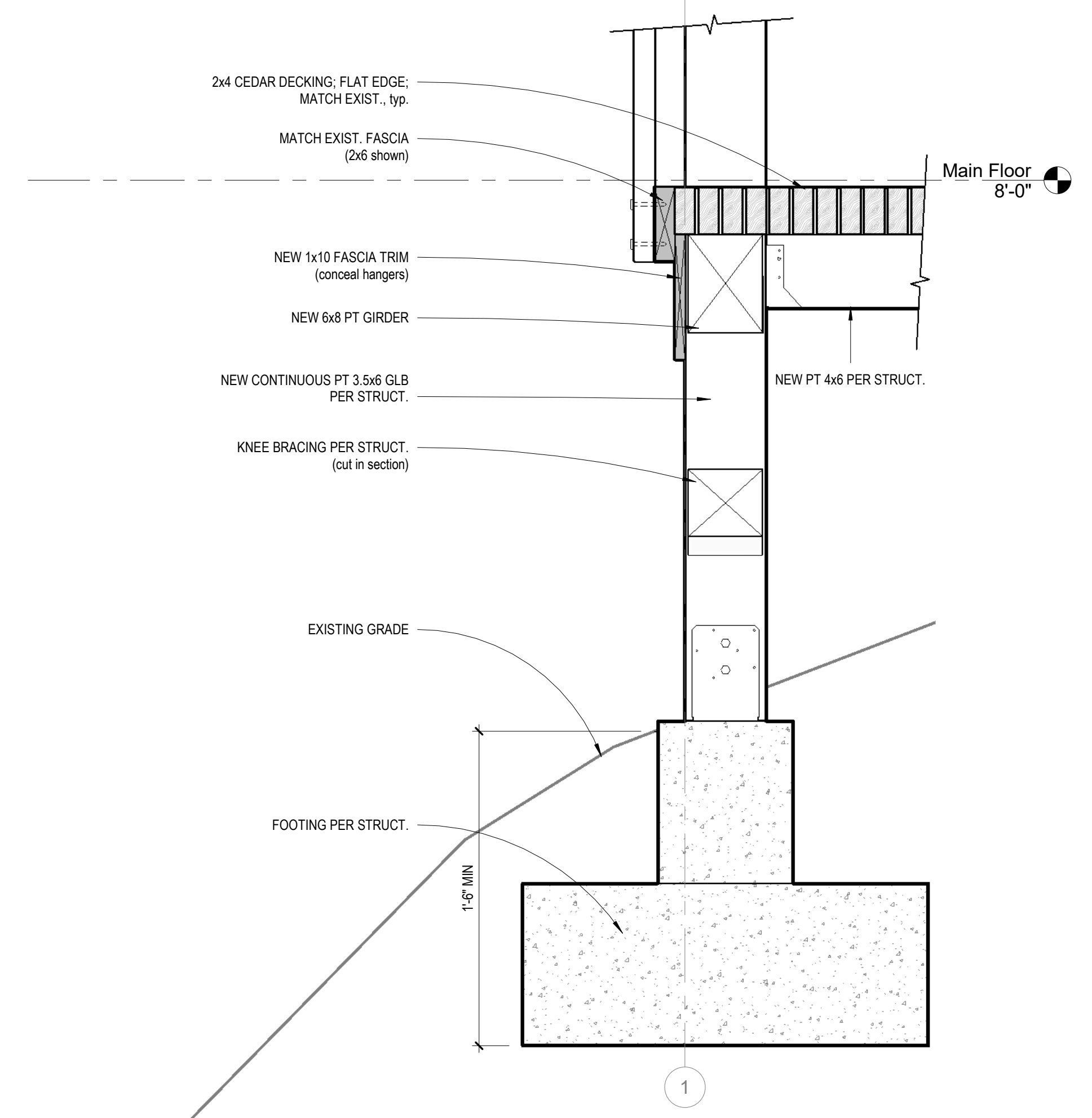
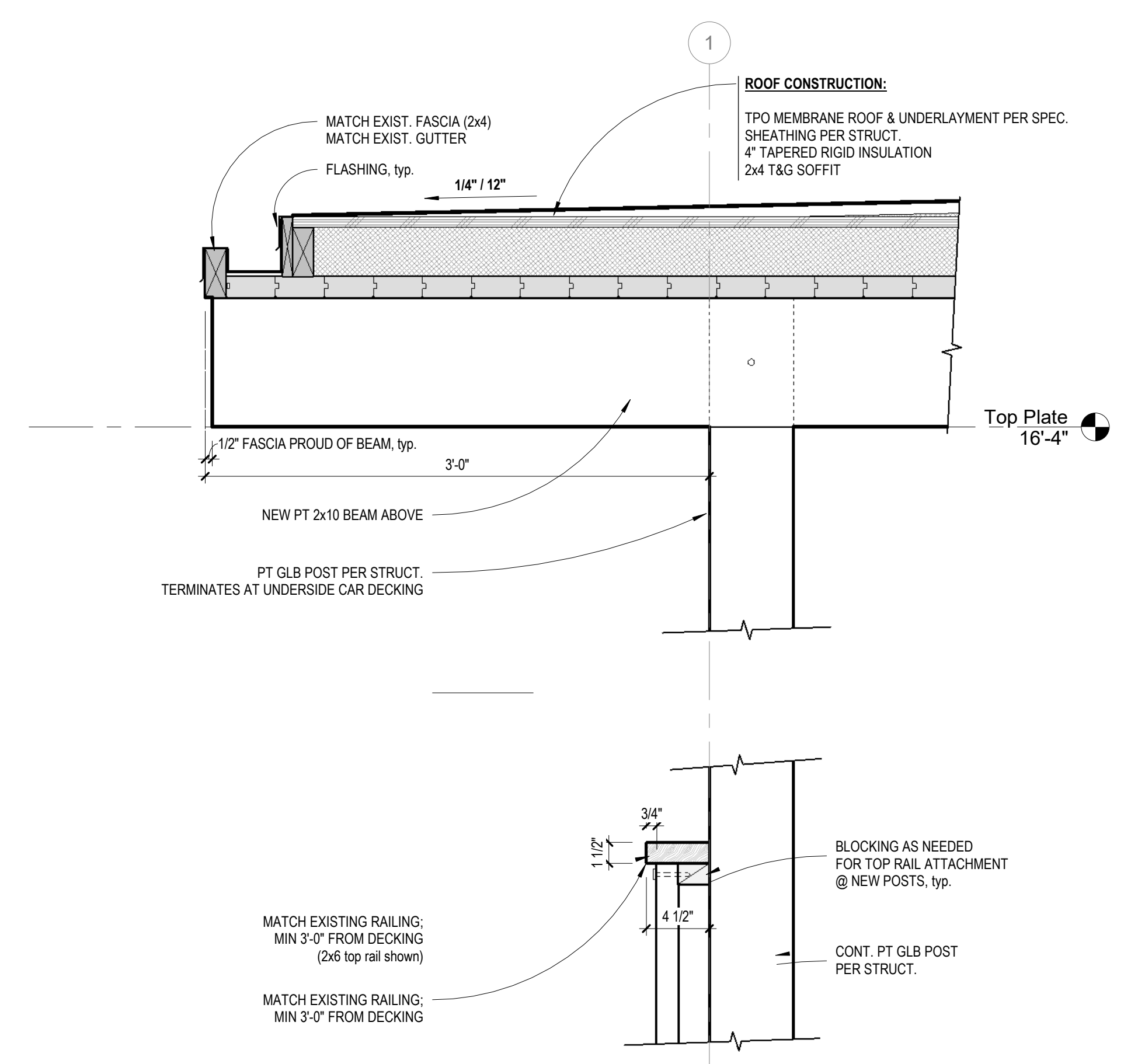
2 WEST ELEVATION (partial)
1/4" = 1'-0"



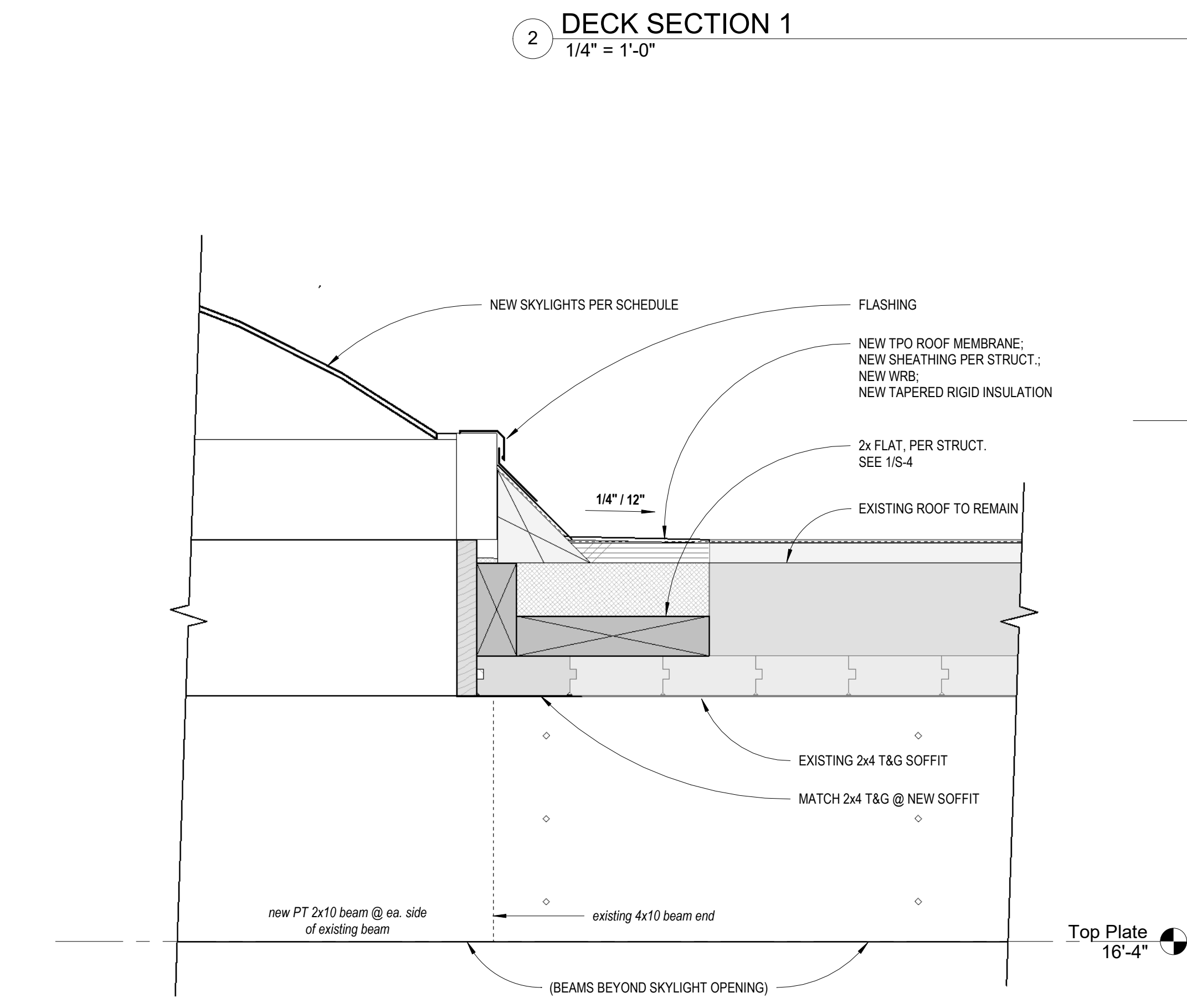
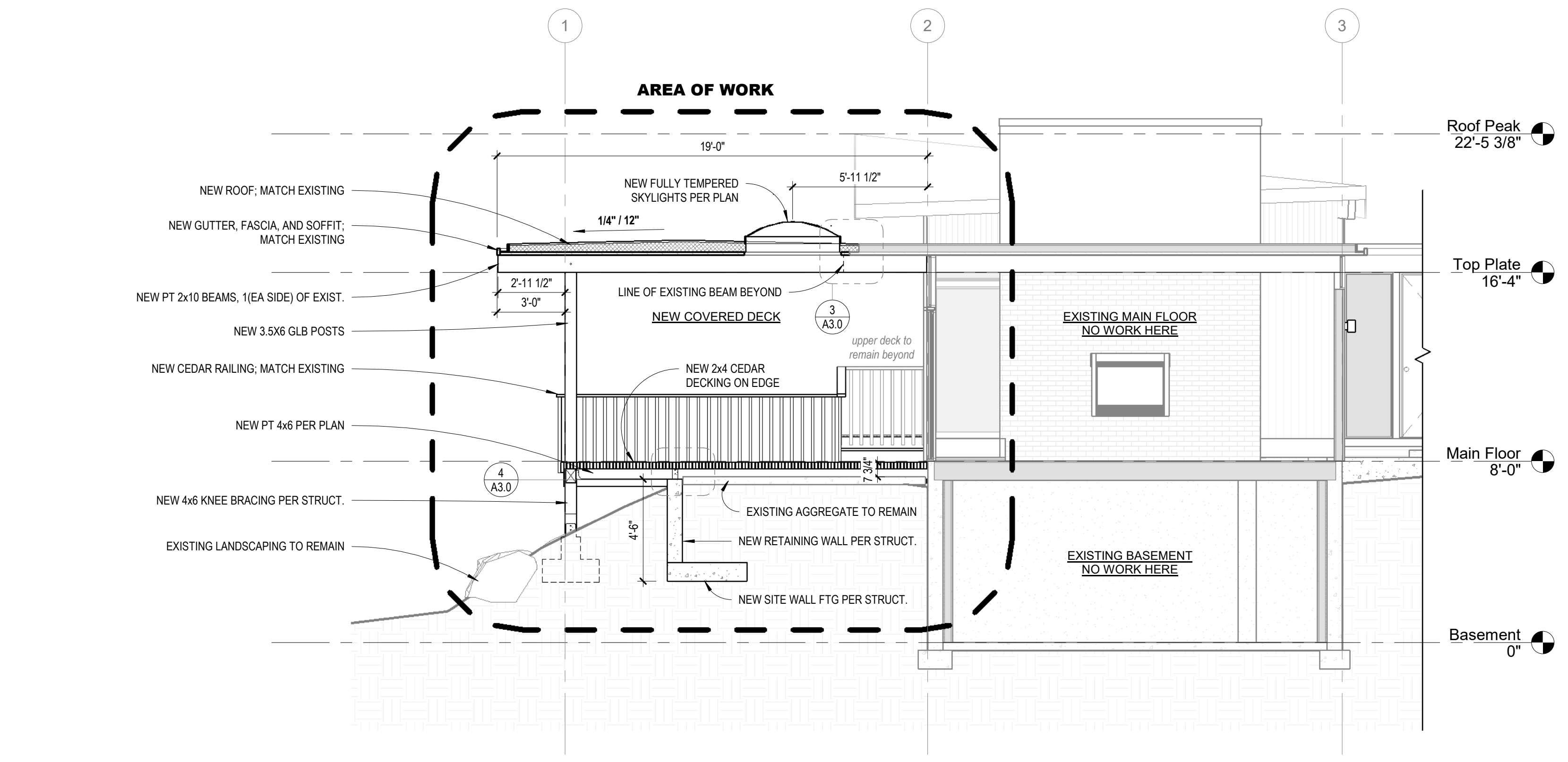
3 SOUTH ELEVATION (partial)
1/4" = 1'-0"



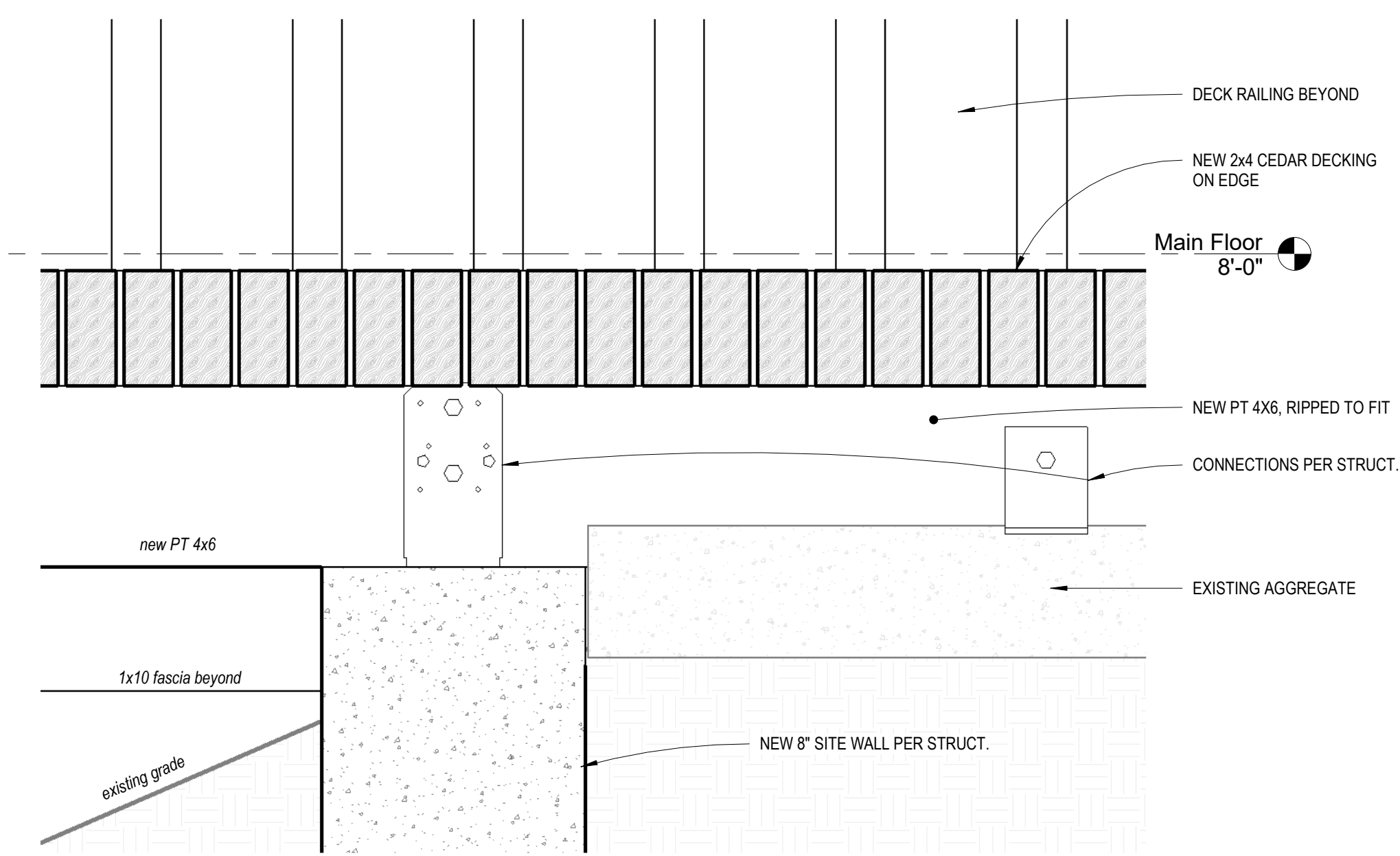
4 ENLARGED WEST ELEVATION (partial)
1/2" = 1'-0"



1 TYPICAL DECK SECTION
 1 1/2" = 1'-0"



3 NEW ROOF TO EXISTING DTL
 3" = 1'-0"



4 DECKING DTL 1
 3" = 1'-0"

STOKKE RESIDENCE

S201117-6

PROJECT INFORMATION

ARCHITECT
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EMAIL: MTHURFJELL@L120ENGINEERING.COM
CONTACT: MANS THURFJELL, PE

CODES

ENGINEERED PER:
2018 (IRC) INTERNATIONAL RESIDENTIAL CODE
2018 (IBC) INTERNATIONAL BUILDING CODE

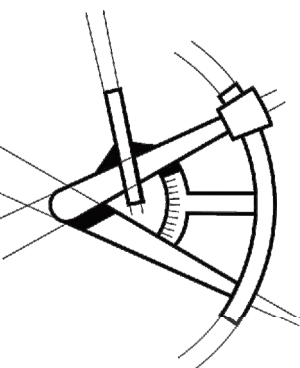
SHEET INDEX

COVER SHEET...S-0
STRUCTURAL GENERAL NOTES...S-1
FOUNDATION PLAN...S-2
DECK FRAMING PLAN...S-3
ROOF FRAMING PLAN...S-4

STRUCTURAL DETAILS...SD-1



LONGITUDE
ONE TWENTY^o
ENGINEERING & DESIGN



REVISIONS

△	DESCRIPTION	DATE	BY
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PROJECT NAME

STOKKE RESIDENCE

PROJECT NUMBER

S201117-6

DRAWN BY - MR

CHECKED BY - MRT

SHEET DATE - 3/3/2021

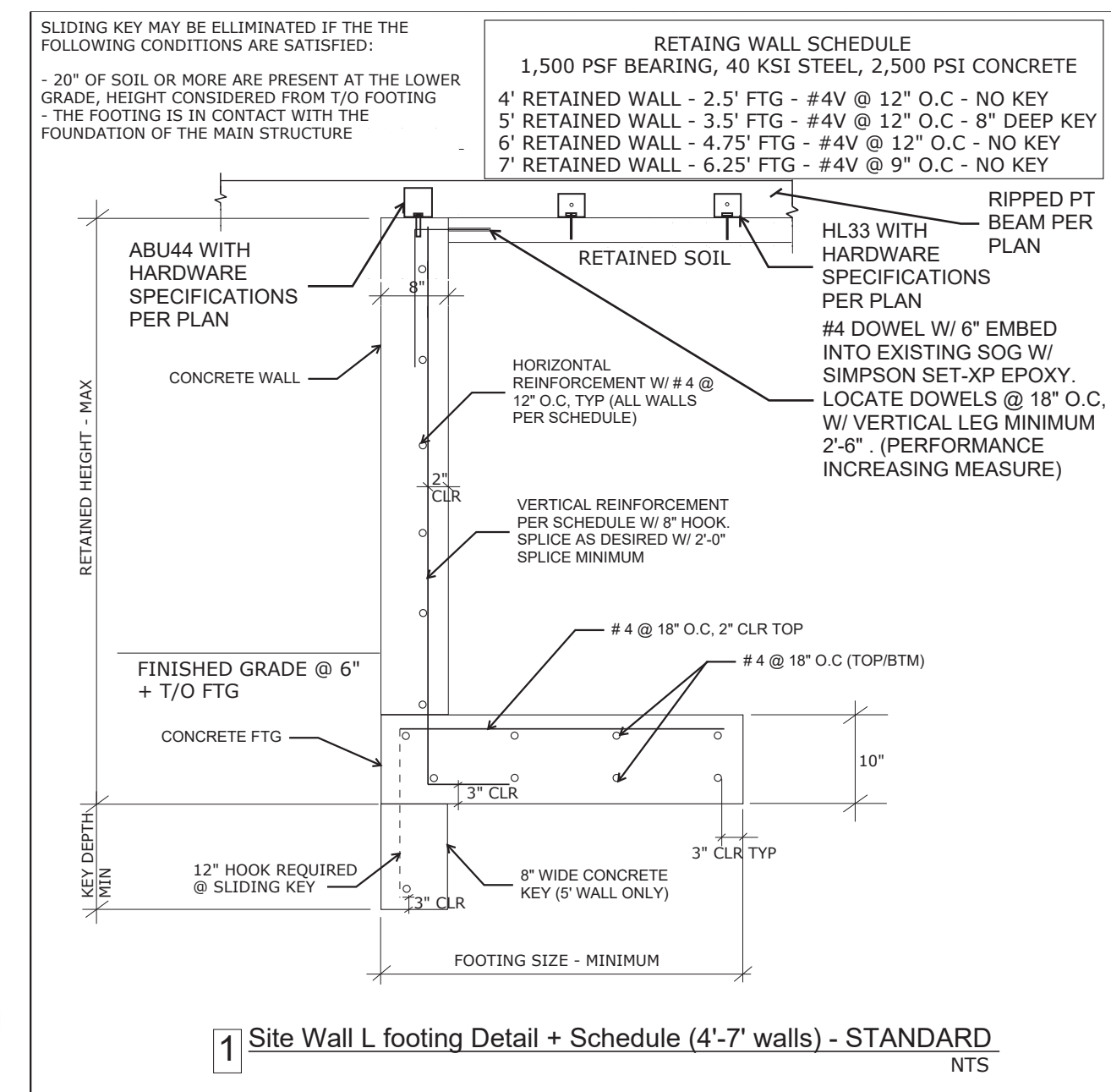
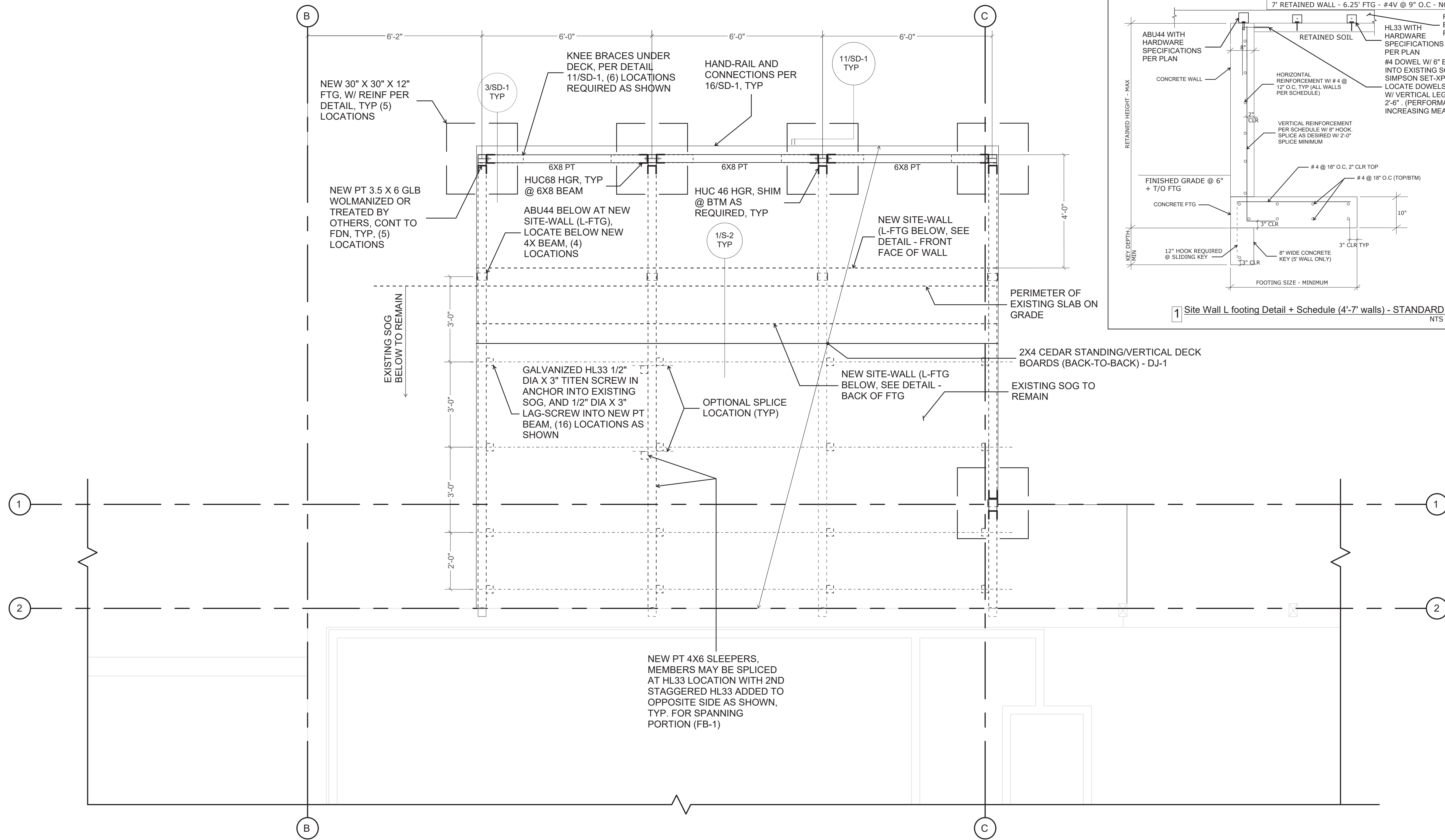
SCALE

24X36 SHEET: 1/4" = 1'-0"

DESCRIPTION

COVER SHEET

SHEET S-0



FOUNDATION PLAN

FOUNDATION NOTES

- GENERAL STRUCTURAL NOTES AND ABBREVIATIONS PER SHEET S-1.
- VERIFY ALL DIMENSIONS AND ELEVATIONS WITH ARCH. PROVIDED DIMENSIONS ARE TO FACE OF CONCRETE STEM WALL OR CENTER OF INDIVIDUAL FOOTING. OUTSIDE FACE OF STEM WALL ALIGNS WITH OUTSIDE FACE OF STUD WALL UNO. STHD HOLDOWNS ARE DIMENSIONED TO CENTER OF STRAP. HDU/HD/HTT HOLDOWNS ARE DIMENSIONED TO CENTER OF ANCHOR BOLT.
- VERIFY ALL T/CONC ELEVATIONS ON ALL CONCRETE INCLUDING PARTIAL HEIGHT RETAINING WALLS. CONCRETE TO EXTEND MIN 8" ABOVE FINISHED GRADE. PROVIDE 1" RECESS AT DOUBLE SIDED SHEARWALLS TO ACCOMMODATE 3X SILL PLATE.
- FOOTINGS ARE TO BEAR ON COMPETENT NATIVE SOIL OR STRUCTURAL FILL CAPABLE OF SUPPORTING THE ASSUMED BEARING PRESSURE PER GENERAL NOTES. REFERENCE GEOTECHNICAL REPORT (IF AVAILABLE) FOR SUBGRADE PREPARATION, FILL REQUIREMENTS, FOOTING DRAINS, AND OTHER REQUIREMENTS. REFERENCE ARCH SET (OR OTHERS IF APPLICABLE) FOR FOOTING DRAINS AROUND PERIMETER OF BUILDING.
- PRIOR TO POURING CONCRETE CONTRACTOR SHALL LOCATE AND VERIFY LOCATIONS OF ALL FOUNDATION OPENINGS, PENETRATIONS, AND SLOPES.
- ALL WOOD LOCATED WITHIN 8" OF FINISHED GRADE, EXPOSED TO WEATHER OR IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED. ALL FASTENERS IN CONTACT WITH FIRE-RETARDANT OR PRESSURE-TREATED WOOD SHALL BE COVERED IN PROTECTIVE COATING (I.E. HDG OR SIM).
- SILL ANCHOR BOLTS (J-BOLTS) SHALL BE ASTM F1554 (36KSI) HDG, ASTM A307 (36KSI) HDG OR SIM. ANCHOR BOLTS TO BE 5/8"Ø X 7" MIN EMBEDMENT. SPACING PER SHEARWALL SCHEDULE (72" O.C. MAX). EACH ANCHOR BOLT TO HAVE STANDARD HDG NUT AND WASHER INSTALLED OVER 3"X3"X1/4" HDG PLATE WASHER WITH AND EDGE OF THE PLATE WASHER LOCATED WITHIN 1/2" OF SHEATHED FACE OF WALL. FOR TWO-SIDED SHEARWALLS W/ 2X6 WALL FRAMING USE 4X4X1/4" PLATE WASHERS OR STAGGER ANCHOR BOLTS SO THAT EVERY OTHER PLATE WASHER IS LOCATED WITHIN 1/2" OF EACH FACE OF THE WALL.
- HOLDOWNS BY SIMPSON STRONG-TIE. INSTALLATION PER MANUFACTURER SPECIFICATIONS. ALTERNATIVE SOLUTIONS SHALL BE SUBMITTED TO EOR FOR APPROVAL PRIOR TO INSTALLATION. HOLDOWN THREADED RODS SHALL BE ASTM F1554 (36KSI) HDG UNO. EMBEDDED END OF THREADED ROD TO HAVE 3"X3"X1/4" HDG PLATE WASHER BETWEEN TWO HAND-TIGHTENED HDG STANDARD NUTS.
- CJ INDICATES CONTROL JOINT.
- FIRE-PROOFING AND MOISTURE-PROOFING REQUIREMENTS BY OTHERS.
- EXTERIOR STAIRS AND STEEL-FRAMED STAIRS BY OTHERS.
- TYPICAL DETAILS:
 - 2/SD-1 TYP INTERIOR FOOTING
 - 5/SD-1 TYP CORNER BARS REQ'T
 - 7/SD-1 TYP CONSTRUCTION JOINT
 - 8/SD-1 TYP BAR BEND AND HOOK DETAIL

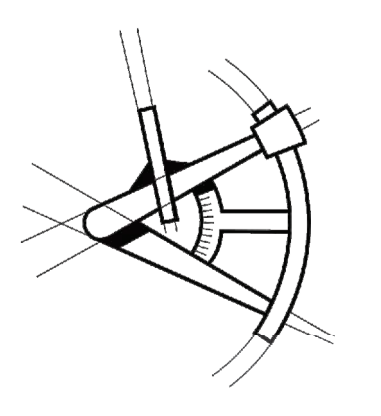
HOLDOWN SCHEDULE			
MODEL	ANCHOR	EMBEDMENT	MIN END POST
CS16/CS14	-	-	1-2X EA
MST#	-	-	2-2X OR 3X
STHD14/STHD14RJ	-	-	2-2X OR 3X
HDU2	5/8" TR	12"	2-2X OR 3X
HDU5	5/8" TR	12"	2-2X
HDU8	7/8" TR	12"	3-2X
HDU11	1" TR	12"	6X6
HDU14	1" TR	15"	6X6
HD19	1 1/4" TR	15"	6X6

FOUNDATION LEGEND

- INDICATES STEP AT T/FOUNDATION
- INDICATES STEP AT B/FOUNDATION
- TANK WALL (TOP OF WALL NOT TO STEP WITHIN HATCHED REGION)
- HOLDOWN BY SIMPSON (STHD/HDU/HD/HTT, TYP)
- FOOTING CENTERED ON POST (L X W X T)



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REVISIONS		
DESCRIPTION	DATE	BY

PROJECT NAME
STOKKE RESIDENCE

PROJECT NUMBER
S201117-6

DRAWN BY - MR

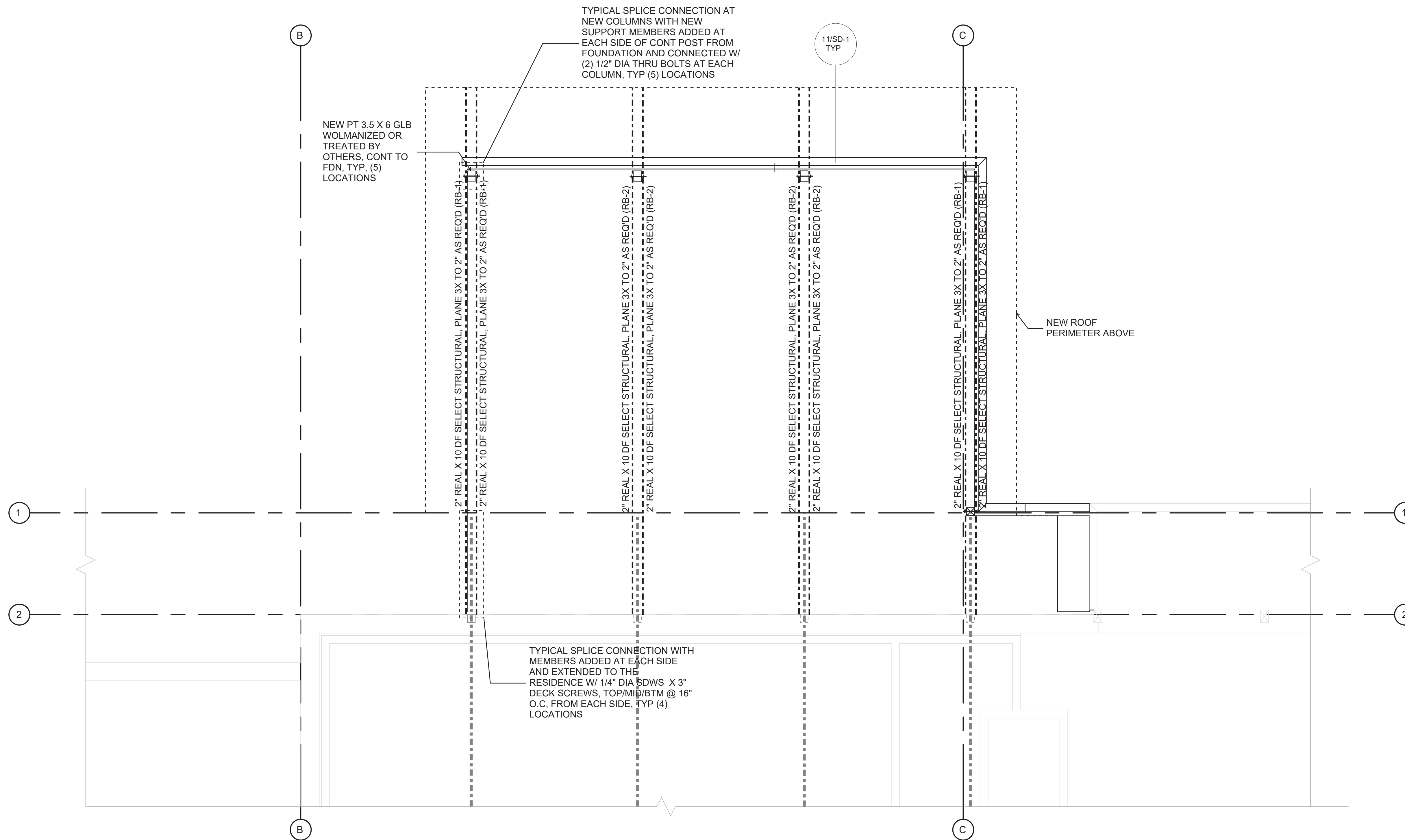
CHECKED BY - MRT

SHEET DATE - 3/3/2021

SCALE
24X36 SHEET: 1/4" = 1'-0"

DESCRIPTION
FOUNDATION PLAN

SHEET
S-2

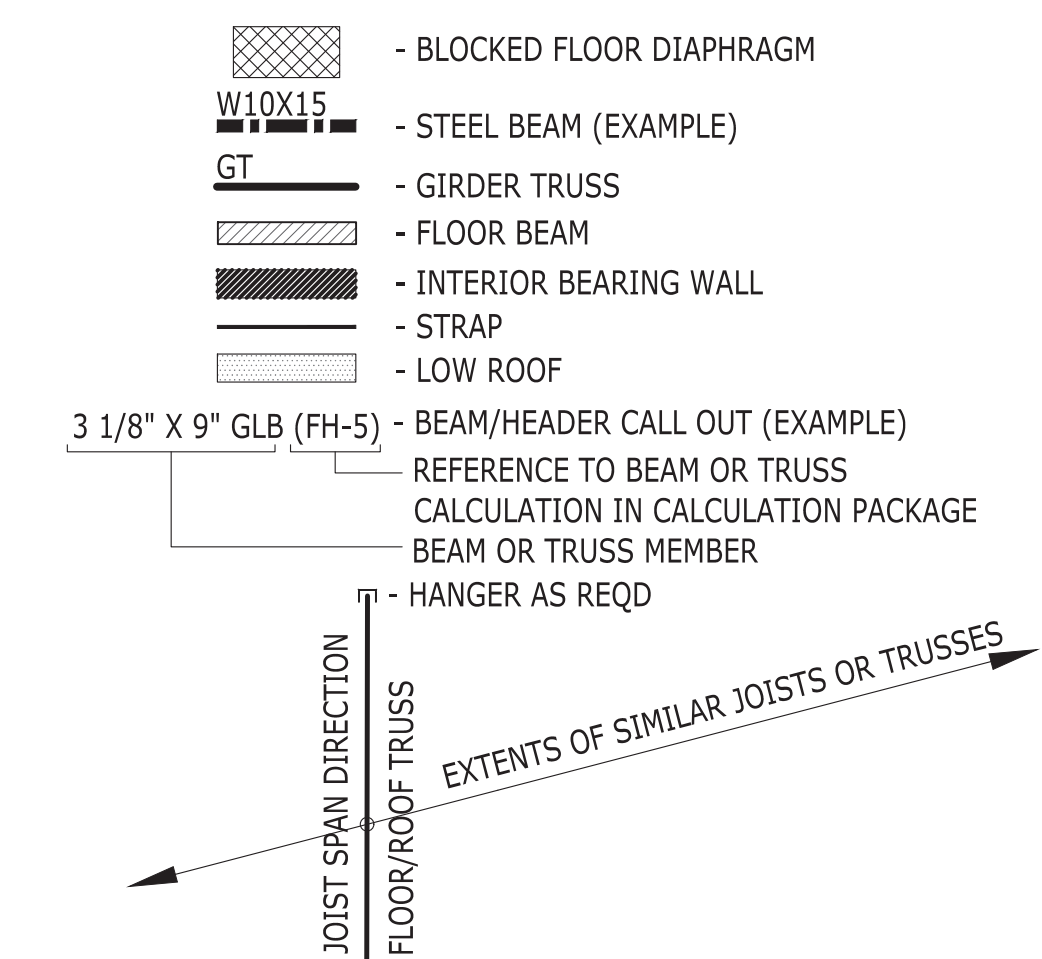


DECK FRAMING PLAN

FLOOR FRAMING NOTES

- GENERAL STRUCTURAL NOTES AND ABBREVIATIONS PER SHEET S-1.
- VERIFY ALL DIMENSIONS AND ELEVATIONS WITH ARCH.
- FLOOR SHEATHING PER GENERAL NOTES. ALL SHEATHING TO BE GLUED AND NAILED TO FRAMING PER MANUFACTURER RECOMMENDATIONS. USE 8d COMMON NAILS (0.131" X 2 1/2") @ 6" O.C. AT PANEL EDGES AND AT ALL FRAMING DESIGNATED "WITH EDGE NAILING" OR "W/EN", AND 12" O.C. IN THE FIELD. UNO. PANEL EDGE JOINTS TO BE STAGGERED BETWEEN ADJACENT PANELS OF SHEATHING. PROVIDE GAP BETWEEN PANELS TO ALLOW FOR NATURAL EXPANSION/CONTRACTION (1/8" GAP TYP).
- LOCATE ALL OPENINGS AND PENETRATIONS AND VERIFY NO CONFLICT WITH FLOOR FRAMING. MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS BY OTHERS.
- ALL WOOD LOCATED WITHIN 8" OF FINISHED GRADE, EXPOSED TO WEATHER OR IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED. ALL FASTENERS IN CONTACT WITH FIRE-RETARDANT OR PRESSURE-TREATED WOOD SHALL BE COVERED IN PROTECTIVE COATING (I.E. HDG OR SIM).
- ALL BEAMS SHALL BE SUPPORTED BY MIN TWO STUDS BELOW EACH END, UNLESS NOTED OTHERWISE ON PLAN. ALL BEAMS SHALL BE FRAMED FLUSH WITH JOISTS UNO. "DROPPED BEAM" OR "DB" INDICATES T/B/EAM EQUAL B/JOISTS. "TOP FLUSH" OR "TF" INDICATES T/B/EAM EQUAL T/JOISTS AND B/B/EAM EXTENDING BELOW B/JOISTS. "BOTTOM FLUSH" OR "BF" INDICATES B/B/EAM EQUAL B/JOISTS AND T/B/EAM EXTENDING ABOVE T/JOISTS.
- ALL NON-BEARING WALLS TO BE FRAMED MIN 0.25" UNDER FLOOR SYSTEM.
- STUD QUANTITIES, POST SIZE, HOLDOWN, AND SHEARWALL REQUIREMENTS PER WALL FRAMING AND SHEARWALL PLAN BELOW.
- ALL POSTS ABOVE THE FLOOR FRAMING SHALL BE BLOCKED WITHIN THE FLOOR DEPTH ("VERTICAL GRAIN BLKG", "VERTICAL CRUSH BLKG", OR "VCB"). BLOCKING WIDTH SHALL MATCH WIDTH OF POST OR BUNDLED STUDS ABOVE AND EXTEND FULL FLOOR DEPTH.
- HORIZONTAL STRAPS INDICATED ON FRAMING PLANS SHALL BE CENTERED OVER THE TOP PLATE, BEAM, OR BLOCKING. STRAP LENGTH PER PLAN.
- ALL TIES AND HANGERS TO BE MANUFACTURED BY SIMPSON STRONG-TIE. INSTALLATION PER MANUFACTURER'S RECOMMENDATIONS. ALTERNATIVE SOLUTIONS SHALL BE SUBMITTED TO EOR FOR APPROVAL PRIOR TO INSTALLATION. REFER TO TYPICAL HANGER SCHEDULE FOR HANGER SIZE UNO ON PLAN OR DETAILS.
- ENGINEERED FLOOR JOISTS AND FLOOR TRUSSES TO BE DESIGNED BY OTHERS. REFER TO STRUCTURAL GENERAL NOTES FOR SUBMITTAL INFORMATION, AND DESIGN CRITERIA.
- FIRE-PROOFING AND MOISTURE-PROOFING REQUIREMENTS BY OTHERS.
- TYPICAL DETAILS:
 - 13/SD-1 TYP DROPPED BEAM AT CUT PLATES
 - 18/SD-1 TYP FRAMING AT INTERIOR BEARING WALL
 - 19/SD-1 TYP FRAMING AT INTERIOR FLUSH BEAM

FRAMING LEGEND



TYPICAL JOIST HANGER SCHEDULE			
TJ1210			
11 7/8"	2-PLY 11 7/8"	14"	2-PLY 14"
IUS2.06/11.88	MIU4.28/11	IUS2.06/14	MIU4.28/14
2X10			
1-PLY		2-PLY	
LUS210		LUS210-2	
TYPICAL BEAM HANGER SCHEDULE			
LVL / LSL / PSL			
1 3/4"		3 1/2"	
5 1/4"		7"	
11 7/8"	HUS1.81/10	HHUS410	HGUS5.50/12 HGUS7.25/12
14"	HUS1.81/10	HHUS410	HGUS5.50/14 HGUS7.25/14

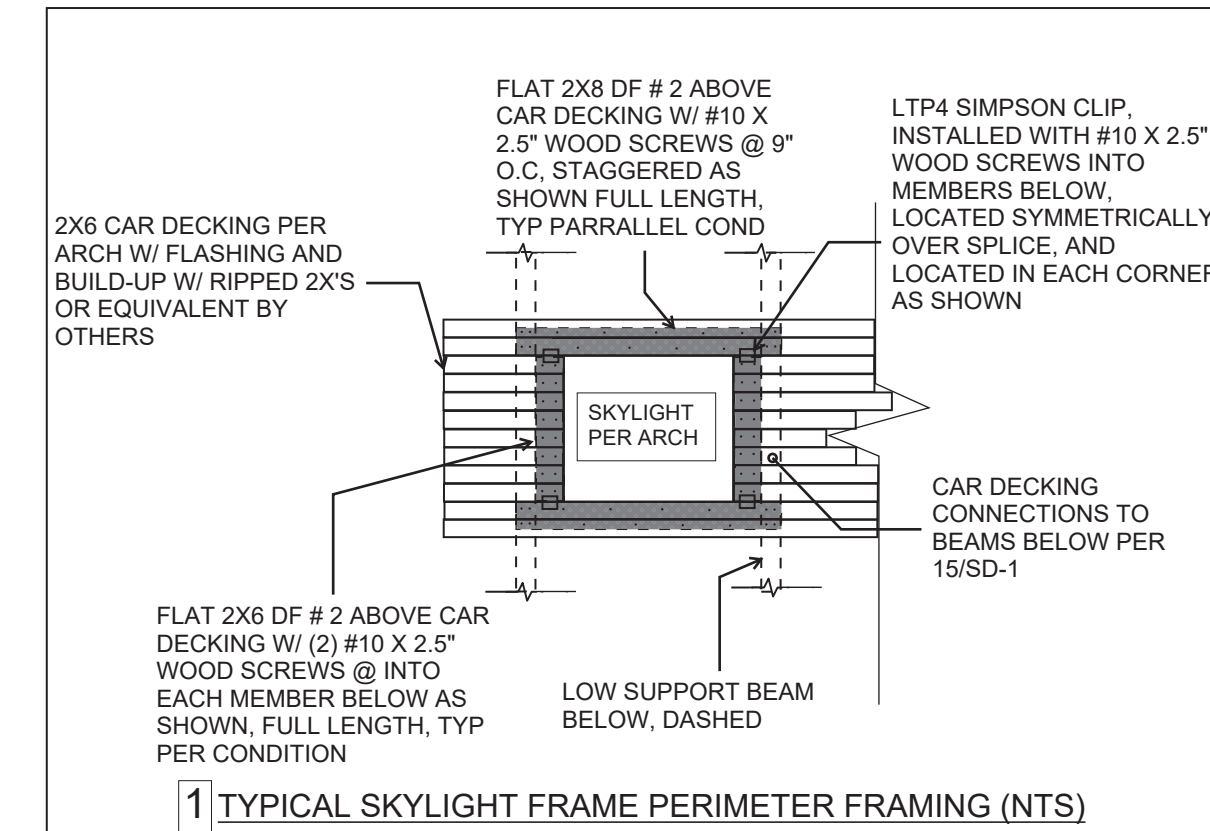
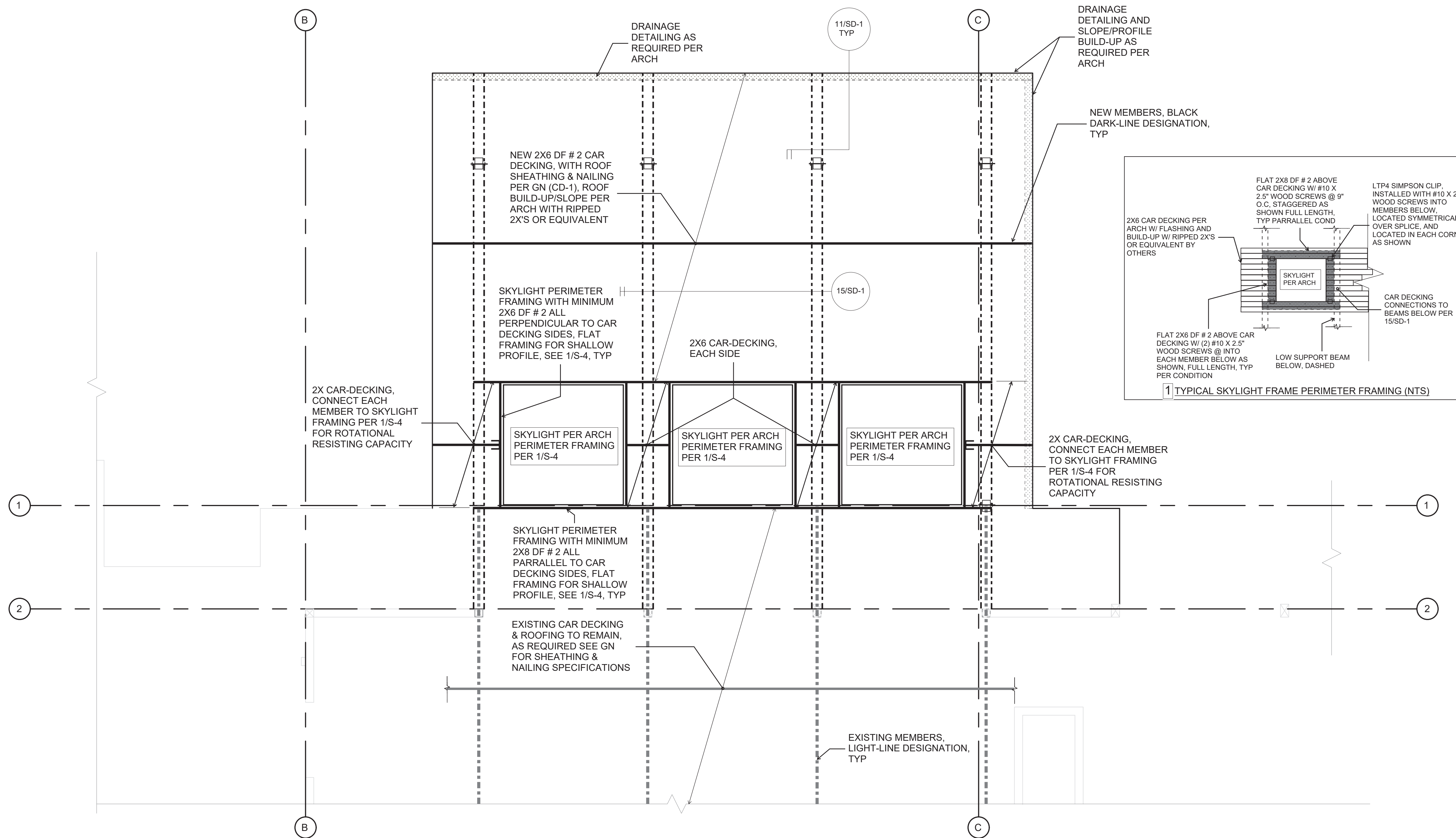
LONGITUDE
ONE TWENTY[®]
ENGINEERING & DESIGN

REVISIONS			
Δ	DESCRIPTION	DATE	BY

PROJECT NAME	STOKKE RESIDENCE
PROJECT NUMBER	S201117-6
DRAWN BY - MR	
CHECKED BY - MRT	
SHEET DATE -	3/3/2021
SCALE	24X36 SHEET: 1/4" = 1'-0"

DECK FRAMING PLAN

S-3

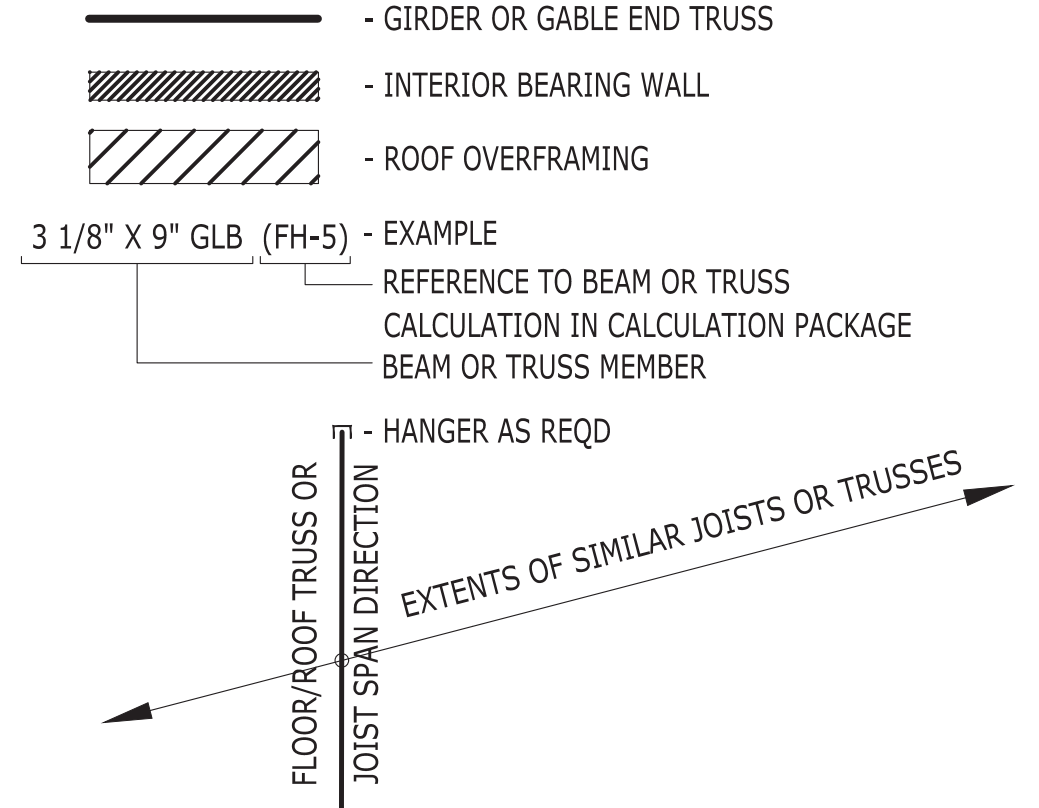


ROOF FRAMING PLAN

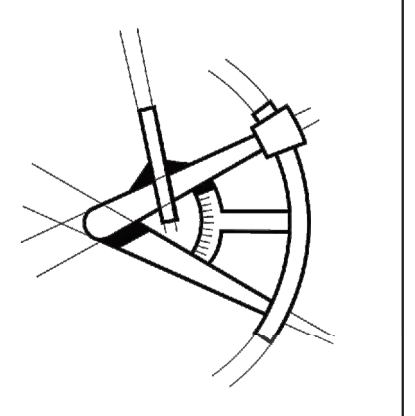
ROOF FRAMING NOTES

- GENERAL STRUCTURAL NOTES AND ABBREVIATIONS PER SHEET S-1.
- VERIFY ALL DIMENSIONS AND ELEVATIONS WITH ARCH.
- ROOF SHEATHING PER GENERAL NOTES. ALL SHEATHING TO BE GLUED AND NAILED TO FRAMING PER MANUFACTURER RECOMMENDATIONS. USE 8d COMMON NAILS (0.131" X 2 1/2") @ 6" O.C. AT PANEL EDGES AND AT ALL FRAMING DESIGNATED "WITH EDGE NAILING" OR "W/EN", AND 12" O.C. IN THE FIELD, UNO. PANEL EDGE JOINTS TO BE STAGGERED BETWEEN ADJACENT PANELS OF SHEATHING. PROVIDE GAP BETWEEN PANELS TO ALLOW FOR NATURAL EXPANSION/CONTRACTION (1/8" GAP TYP).
- ALL ROOF TRUSSES SHALL BE SPACED NO FURTHER APART THAN 24" O.C. AND SHALL BE CONNECTED TO TOP PLATE WITH H2.5 TIE UNO.
- ALL GIRDER TRUSSES SHALL BE CONNECTED TO TOP PLATE WITH TWO H6 TIES UNO.
- LOCATE ALL OPENINGS AND PENETRATIONS AND VERIFY NO CONFLICT WITH ROOF FRAMING, MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS BY OTHERS.
- ALL BEAMS AND GIRDER TRUSSES SHALL BE SUPPORTED BY MIN TWO STUDS BELOW EACH END, UNLESS NOTED OTHERWISE ON PLAN. ALL BEAMS SHALL BE FRAMED FLUSH WITH JOISTS UNO. "DROPPED BEAM" OR "DB" INDICATES T/B/EAM EQUAL B/JOISTS. "TOP FLUSH" OR "TF" INDICATES T/B/EAM EQUAL T/JOISTS AND B/B/EAM EXTENDING BELOW B/JOISTS. "BOTTOM FLUSH" OR "BF" INDICATES B/B/EAM EQUAL B/JOISTS AND T/B/EAM EXTENDING ABOVE T/JOISTS.
- ALL NON-BEARING WALLS TO BE FRAMED MIN 0.25" UNDER FLOOR SYSTEM.
- STUD QUANTITIES, POST SIZE, HOLDOWN, AND SHEARWALL REQUIREMENTS PER WALL FRAMING AND SHEARWALL PLAN BELOW.
- HORIZONTAL STRAPS INDICATED ON FRAMING PLANS SHALL BE CENTERED OVER THE TOP PLATE, BEAM, OR BLOCKING. STRAP LENGTH PER PLAN UNO.
- ALL HANGERS TO BE MANUFACTURED BY SIMPSON STRONG-TIE. INSTALLATION PER MANUFACTURER'S RECOMMENDATIONS. ALTERNATIVE SOLUTIONS SHALL BE SUBMITTED TO EOR FOR APPROVAL PRIOR TO INSTALLATION. REFER TO TYPICAL HANGER SCHEDULE FOR HANGER SIZE UNO ON PLAN OR DETAILS. HANGERS FOR ROOF TRUSSES BY OTHERS.
- ENGINEERED ROOF JOISTS AND ROOF TRUSSES TO BE DESIGNED BY OTHERS. REFER TO STRUCTURAL GENERAL NOTES FOR SUBMITTAL INFORMATION, AND DESIGN CRITERIA.
 - STANDARD DEAD AND LIVE LOADS SHALL BE USED FOR TRUSS DESIGN. REFERENCE STRUCTURAL GENERAL NOTES FOR MORE INFORMATION.
 - CHANGES TO LAYOUT MUST BE SUBMITTED TO THE ARCHITECT AND EOR FOR REVIEW AND APPROVAL.
 - TRUSS SUBMITTAL PACKAGE TO BE PROVIDED TO EOR FOR REVIEW. REFERENCE STRUCTURAL GENERAL NOTES FOR SUBMITTAL REQUIREMENTS.
 - (XXX LBS SHEAR/D/RAG) INDICATES SHEAR TRANSFER LOAD. SHEAR TRUSS SHALL BE DESIGNED TO BE ABLE TO TRANSFER SPECIFIED LATERAL LOAD APPLIED AT THE TOP CHORD TO THE BOTTOM CHORD AND INTO SHEARWALL BELOW.
- ROOF TRUSSES SHOULD BE DESIGNED FOR ADDITIONAL LOADS WHERE APPLICABLE AS SPECIFIED BY THE ARCHITECT (I.E. MECHANICAL UNITS, ROOF DECKS AND PATIOS, GREEN ROOFS, SOLAR UNITS AND ETC).
- TRUSS DESIGN FOR BEARING AT TOP PLATES TO BE DESIGNED FOR COMPRESSION PERPENDICULAR TO GRAIN.
- FIRE-PROOFING AND MOISTURE-PROOFING REQUIREMENTS BY OTHERS.
- ROOF COVERINGS AND ROOFING MATERIAL BY OTHERS.
- ROOF DRAINAGE BY OTHERS.
- ATTIC VENTILATION BY OTHERS.
- FOR TYPICAL INSTALLATION DETAILS REFERENCE TO:
 - 13/SD-1 TYP DROPPED BEAM AT CUT PLATES

FRAMING LEGEND



LONGITUDE ONE TWENTY ENGINEERING & DESIGN



REVISIONS			
DESCRIPTION	DATE	BY	

PROJECT NAME
STOKKE RESIDENCE

PROJECT NUMBER
S201117-6

DRAWN BY - MR

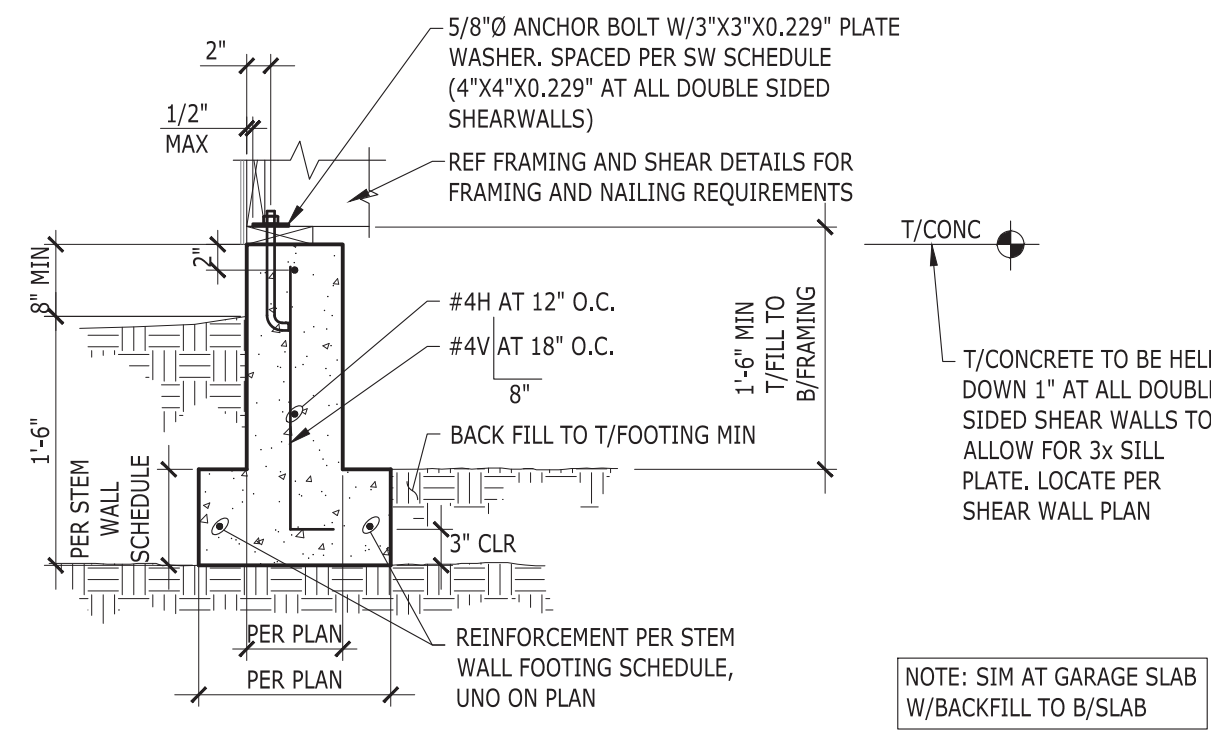
CHECKED BY - MRT

SHEET DATE - 3/3/2021

SCALE
24X36 SHEET: 1/4" = 1'-0"

DESCRIPTION
ROOF FRAMING PLAN
SHEET S-4

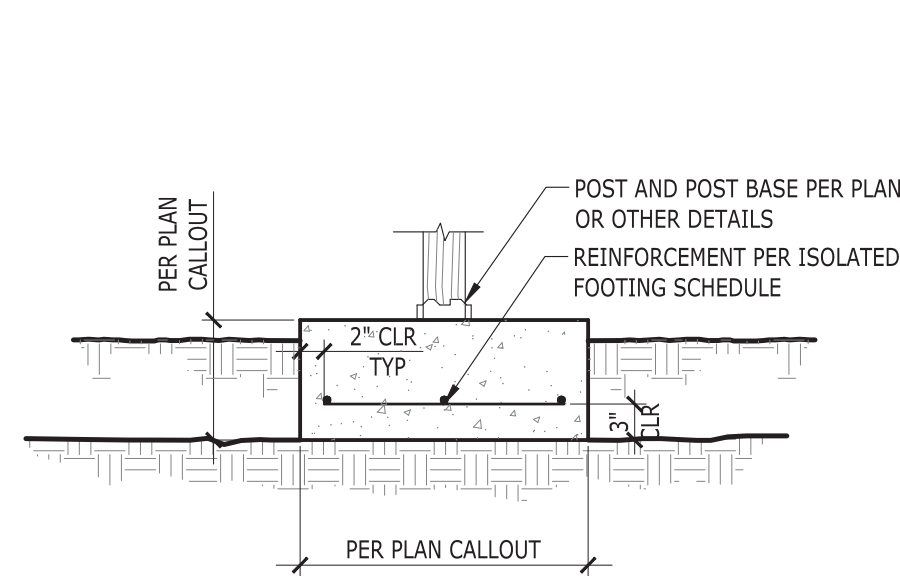
STEM WALL FOOTING SCHEDULE		
FOOTING WIDTH PER PLAN	FOOTING DEPTH	REINFORCEMENT
1'-4"	8"	LONGITUDINAL TRANSVERSE
2'-0"	8"	(2)#4 CONT N/A
2'-0"	8"	(3)#4 CONT N/A
2'-6"	10"	(3)#4 CONT #4@12" O.C



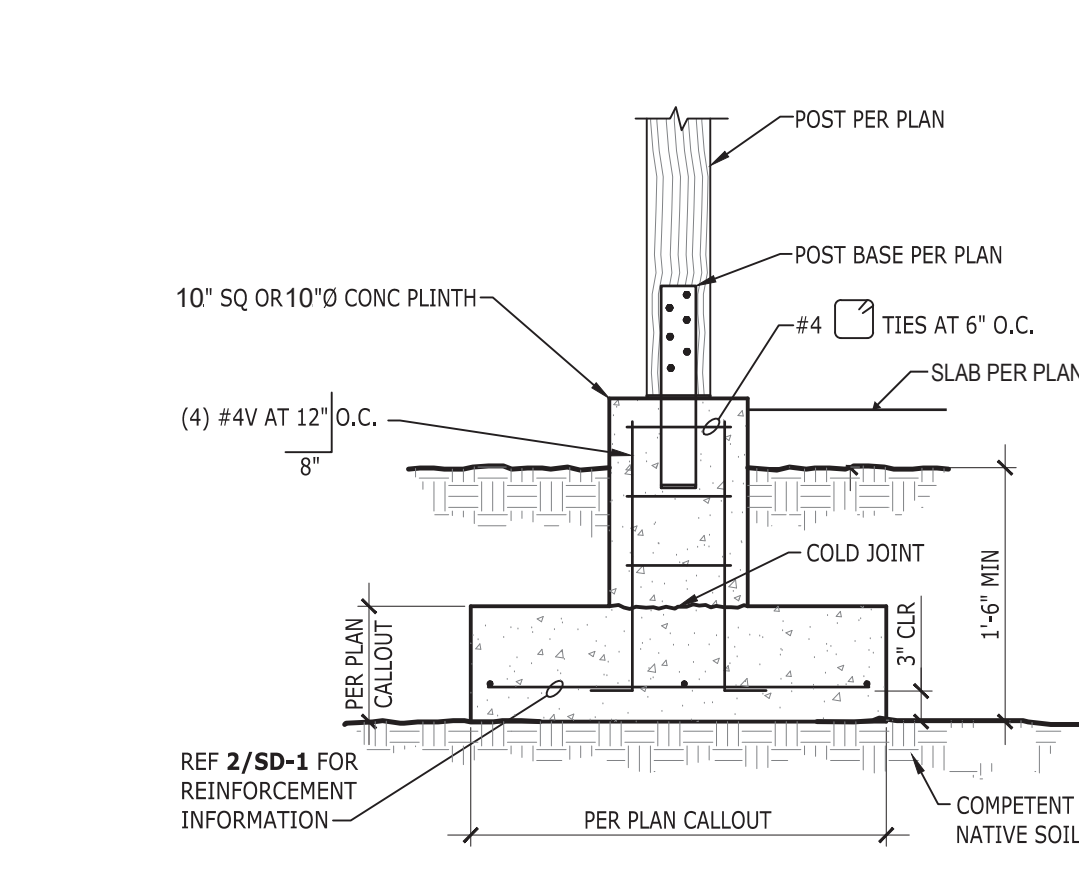
NOTE: SIM AT GARAGE SLAB W/BACKFILL TO B/SLAB

1 STEM WALL AT EXTERIOR

ISOLATED FOOTING SCHEDULE		
FOOTING SIZE PER PLAN		REINFORCEMENT
24" X 24" X 10"		(3)#4, EA WAY, BTM
30" X 30" X 10"		(3)#4, EA WAY, BTM
36" X 36" X 12"		(4)#4, EA WAY, BTM
42" X 42" X 12"		(5)#4, EA WAY, BTM
48" X 48" X 12"		(6)#4, EA WAY, BTM



2 ISOLATED INTERIOR FOOTING

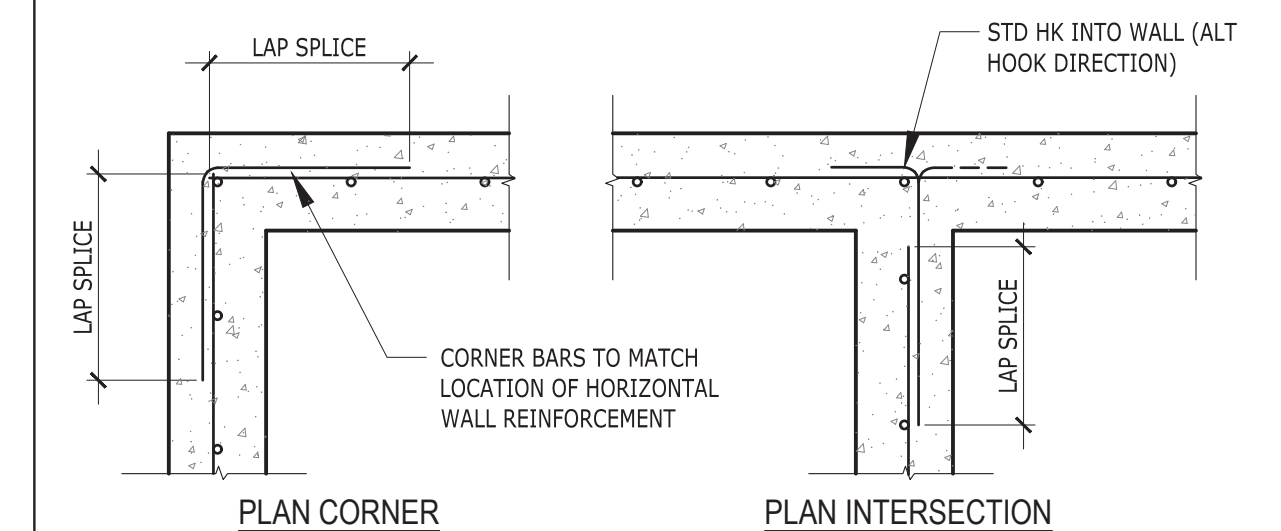


1/2" CLR MIN FROM ALL REINF. TO SOIL WHERE FORMWORK IS NOT PRESENT

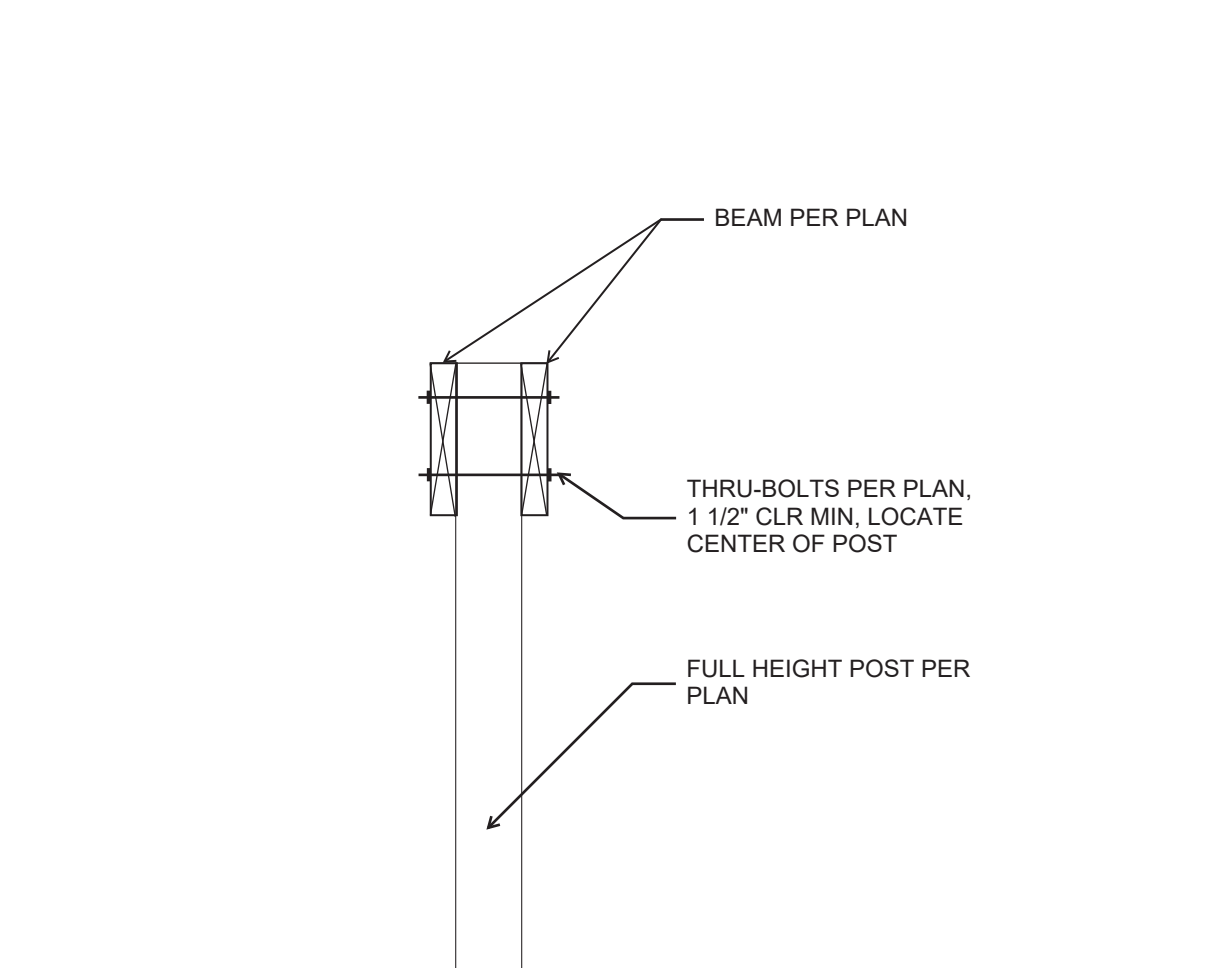
3 ISOLATED EXTERIOR FOOTING

LAP SPLICE AND STANDARD HOOK LENGTH FOR CORNER BARS		
BAR SIZE PER WALL	LAP SPLICE LENGTH	STD HOOK LENGTH
#4	2'-6"	0'-8"
#5	3'-0"	0'-10"
#6	3'-8"	1'-0"
#8	5'-0"	1'-5"

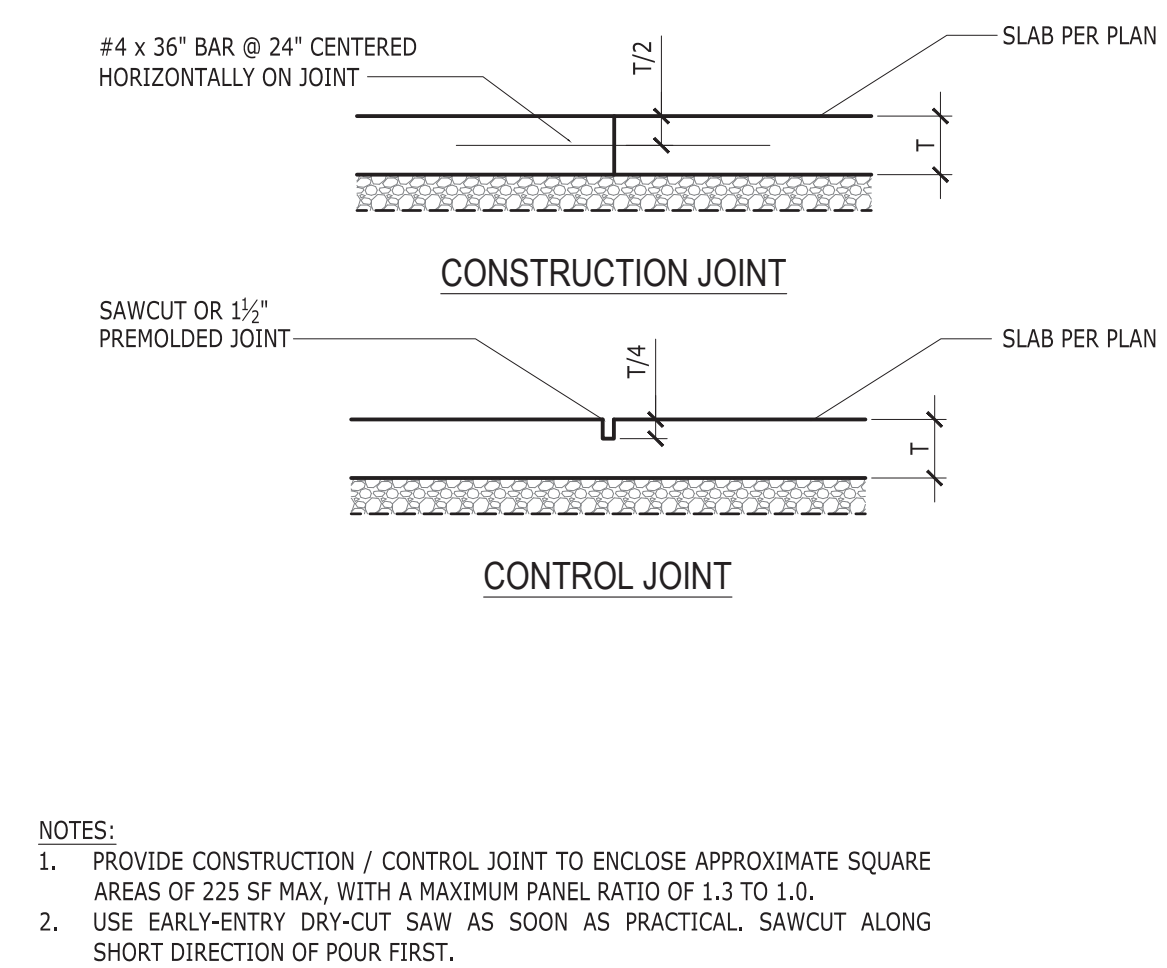
IF INTERSECTING WALLS HAVE DIFFERENT SIZE OF HORIZONTAL REINFORCEMENT, CORNER BARS MATCHING LARGER REINFORCEMENT SIZE AND SPACING TO BE USED



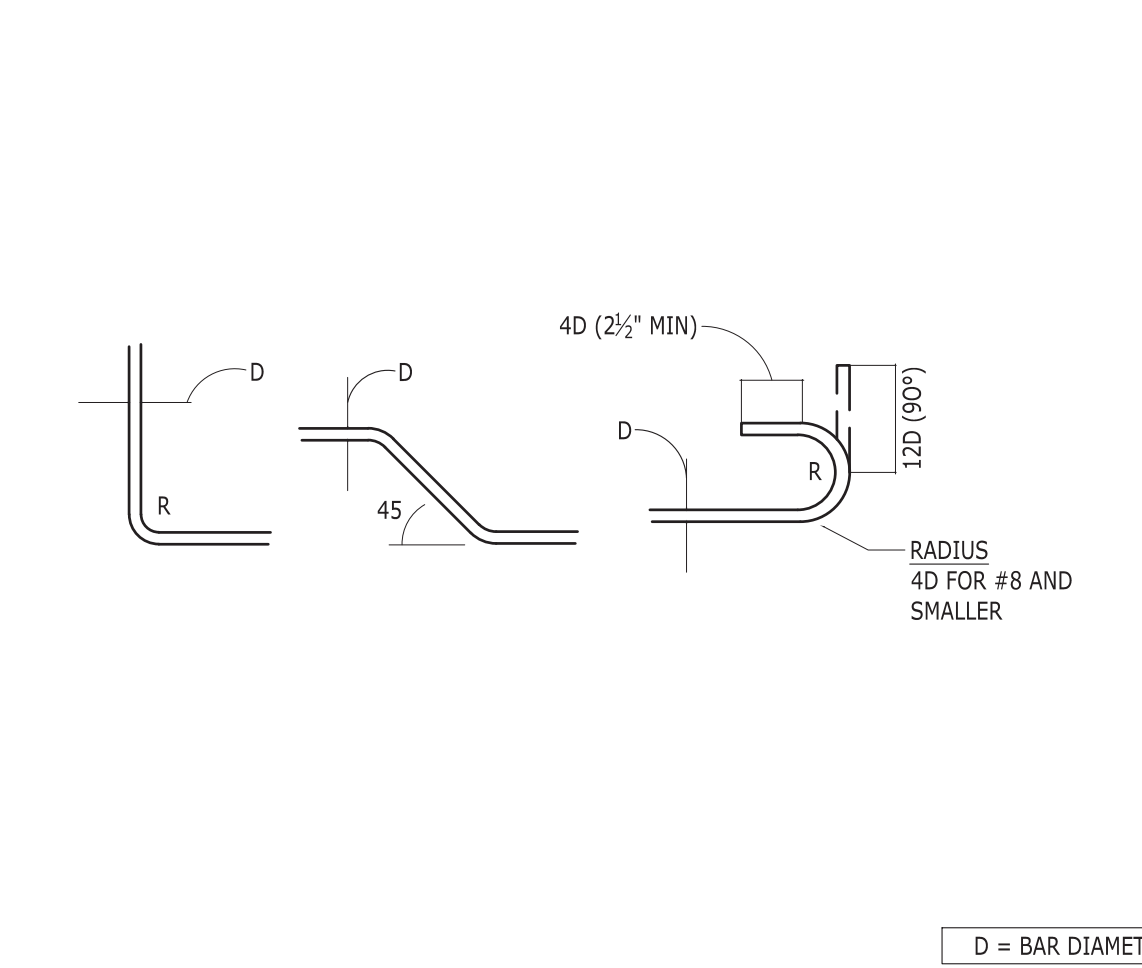
5 CORNER BARS AT CONCRETE WALLS



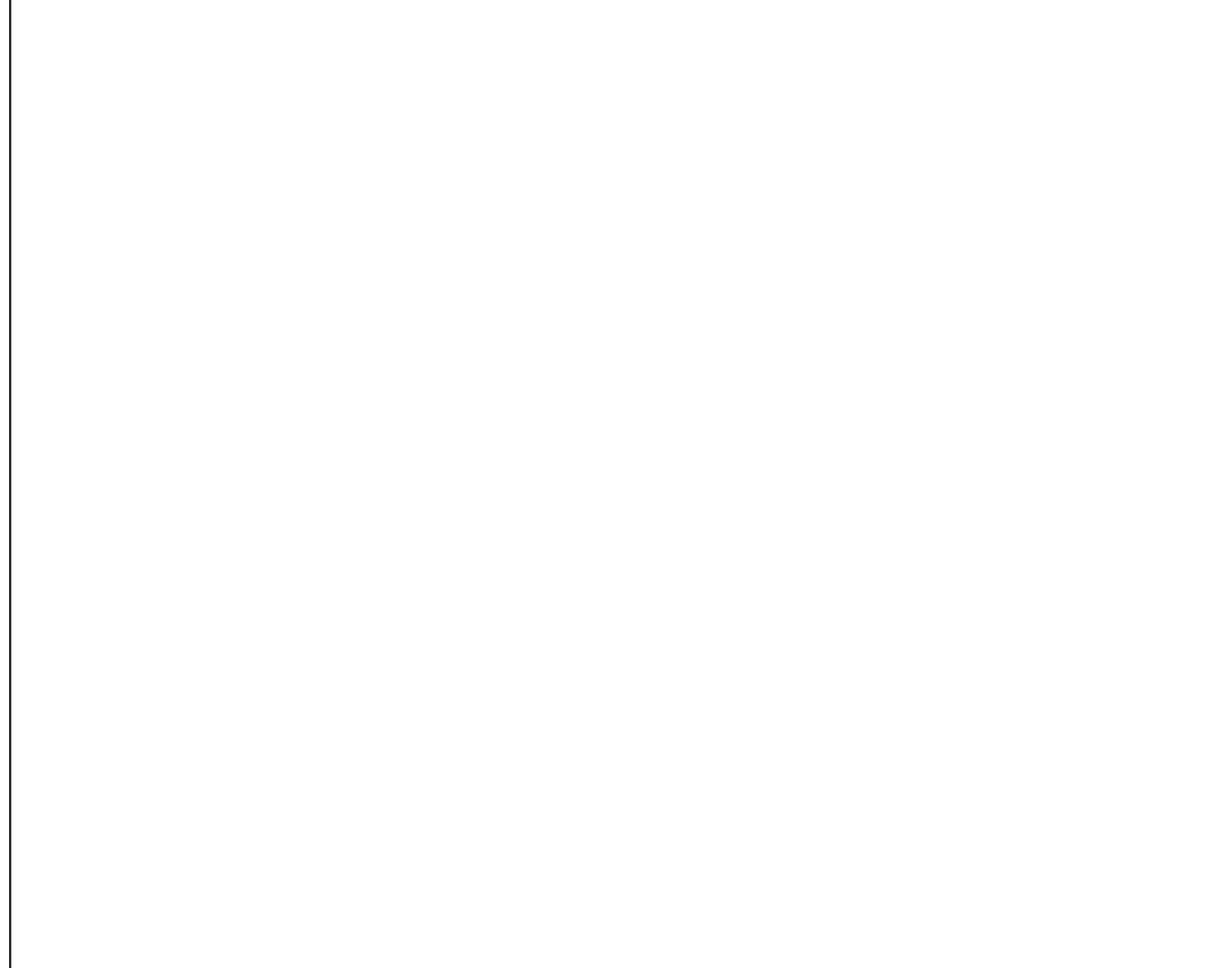
7 CONSTRUCTION/CONTROL JOINT DETAILS



- NOTES:
- PROVIDE CONSTRUCTION / CONTROL JOINT TO ENCLOSE APPROXIMATE SQUARE AREAS OF 225 SF MAX, WITH A MAXIMUM PANEL RATIO OF 1.3 TO 1.0.
 - USE EARLY-ENTRY DRY-CUT SAW AS SOON AS PRACTICAL. SAWCUT ALONG SHORT DIRECTION OF POUR FIRST.



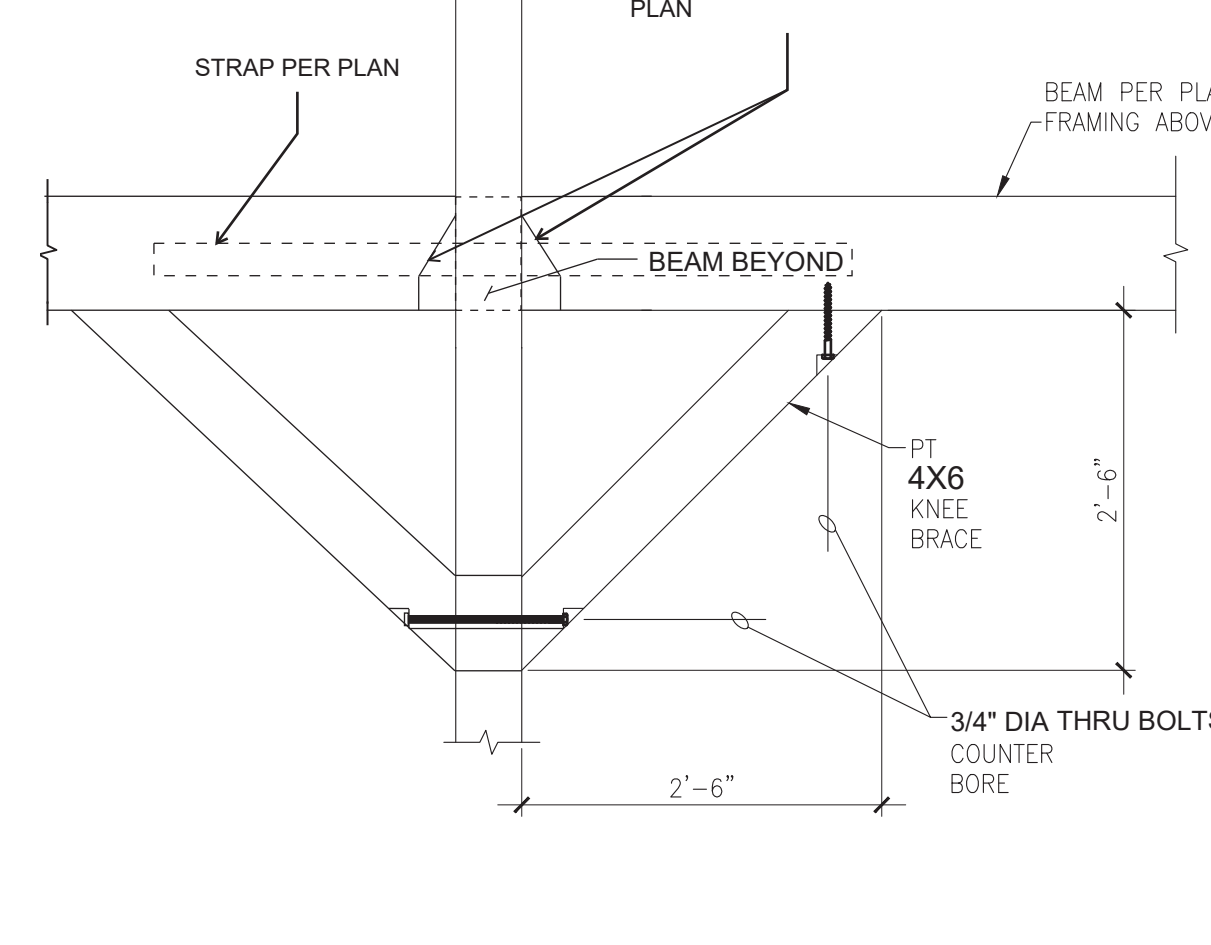
8 BAR BEND AND HOOK DETAILS



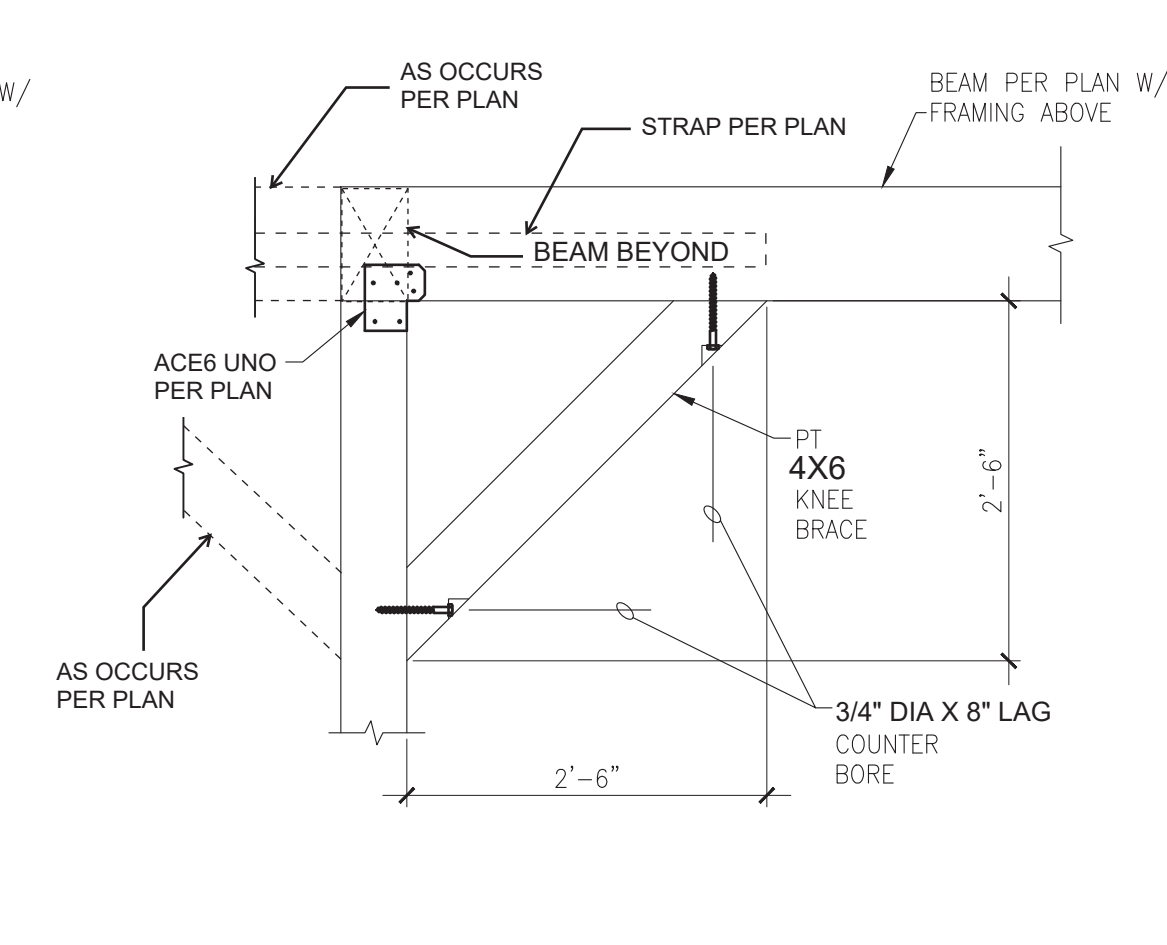
9 BEAM AT DISCONTINUOUS TOP PLATES



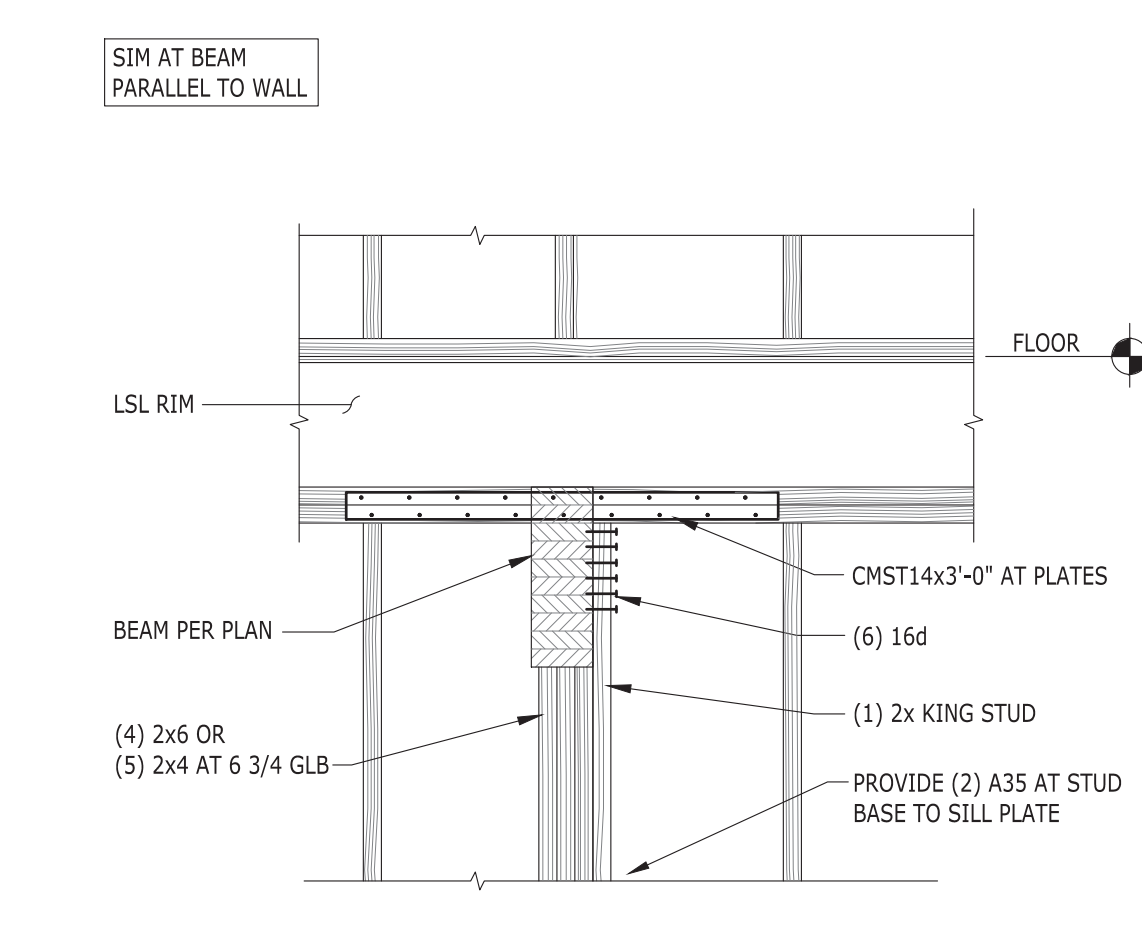
10 CAR-DECKING DETAIL (PLAN VIEW)



11 CORNER BRACE AT DECK (TALL POST)



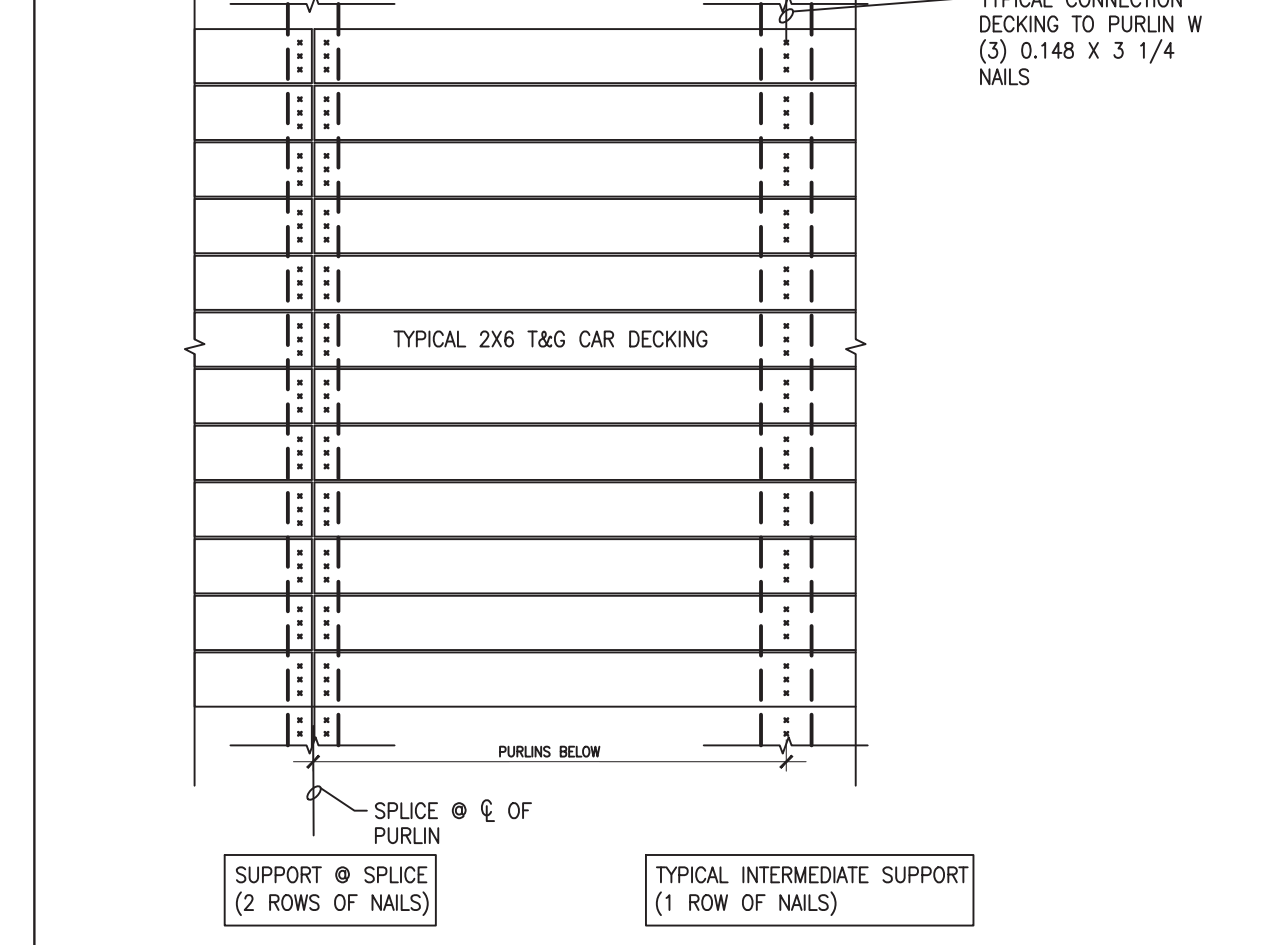
12 CORNER BRACE AT DECK (LOW POST)



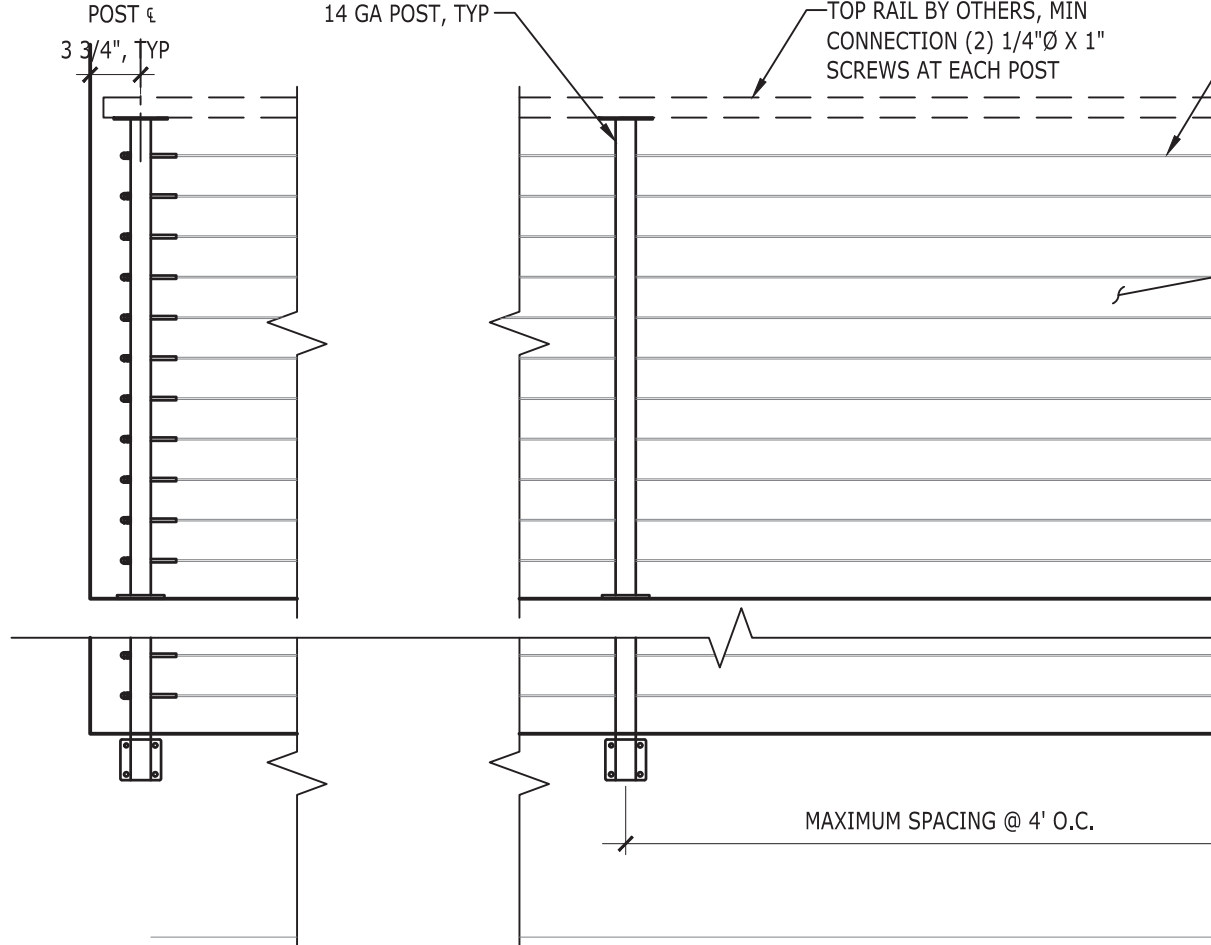
13 BEAM AT DISCONTINUOUS TOP PLATES



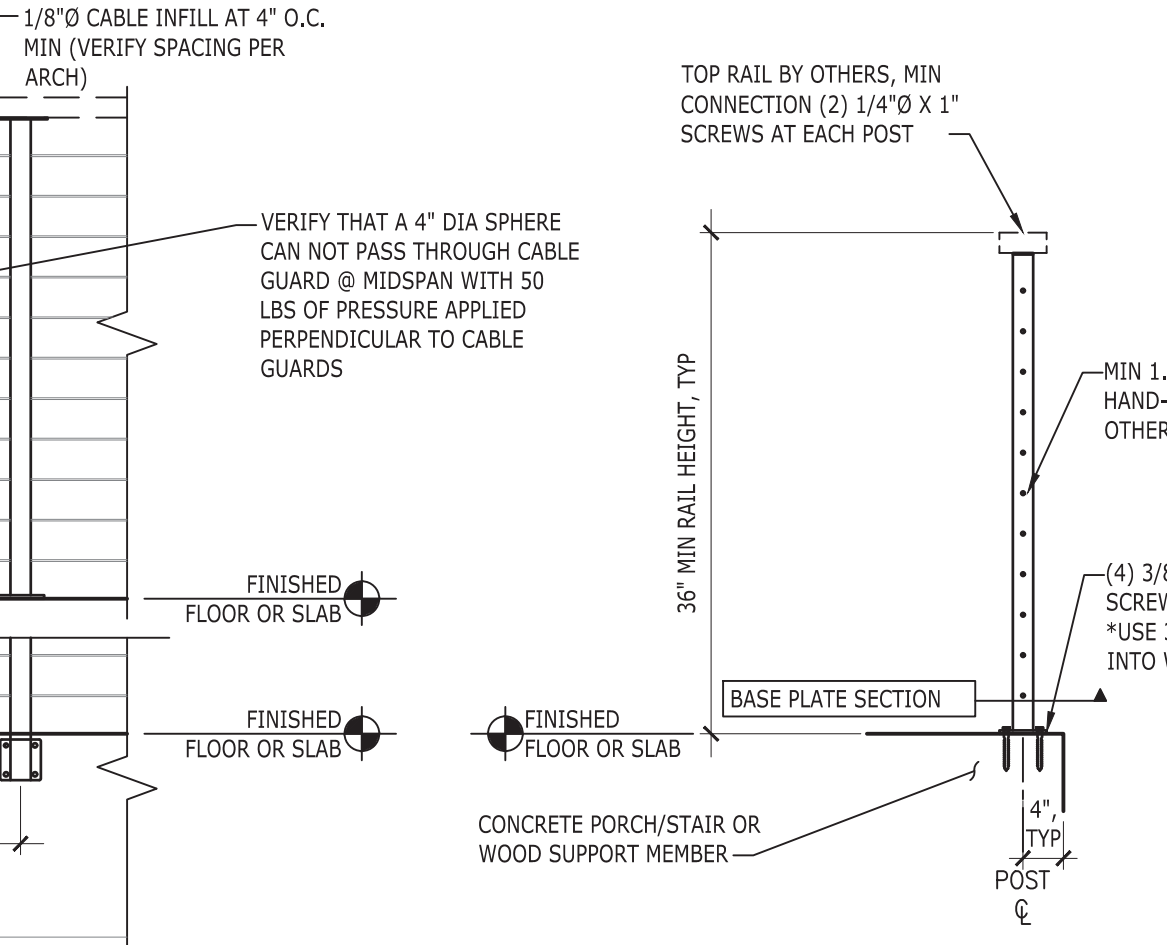
14 BASE PLATE SECTION



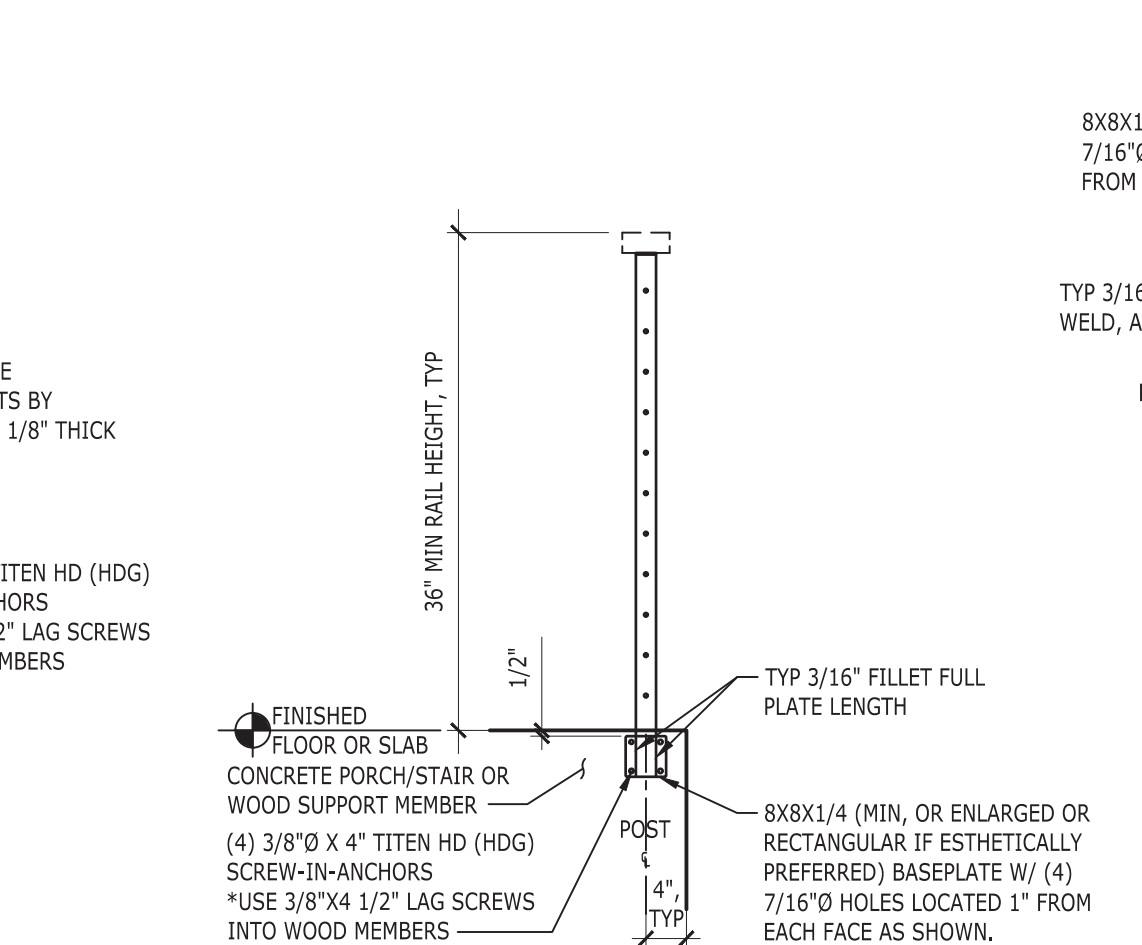
15 JOISTS TO FLUSH BEAM CONNECTION



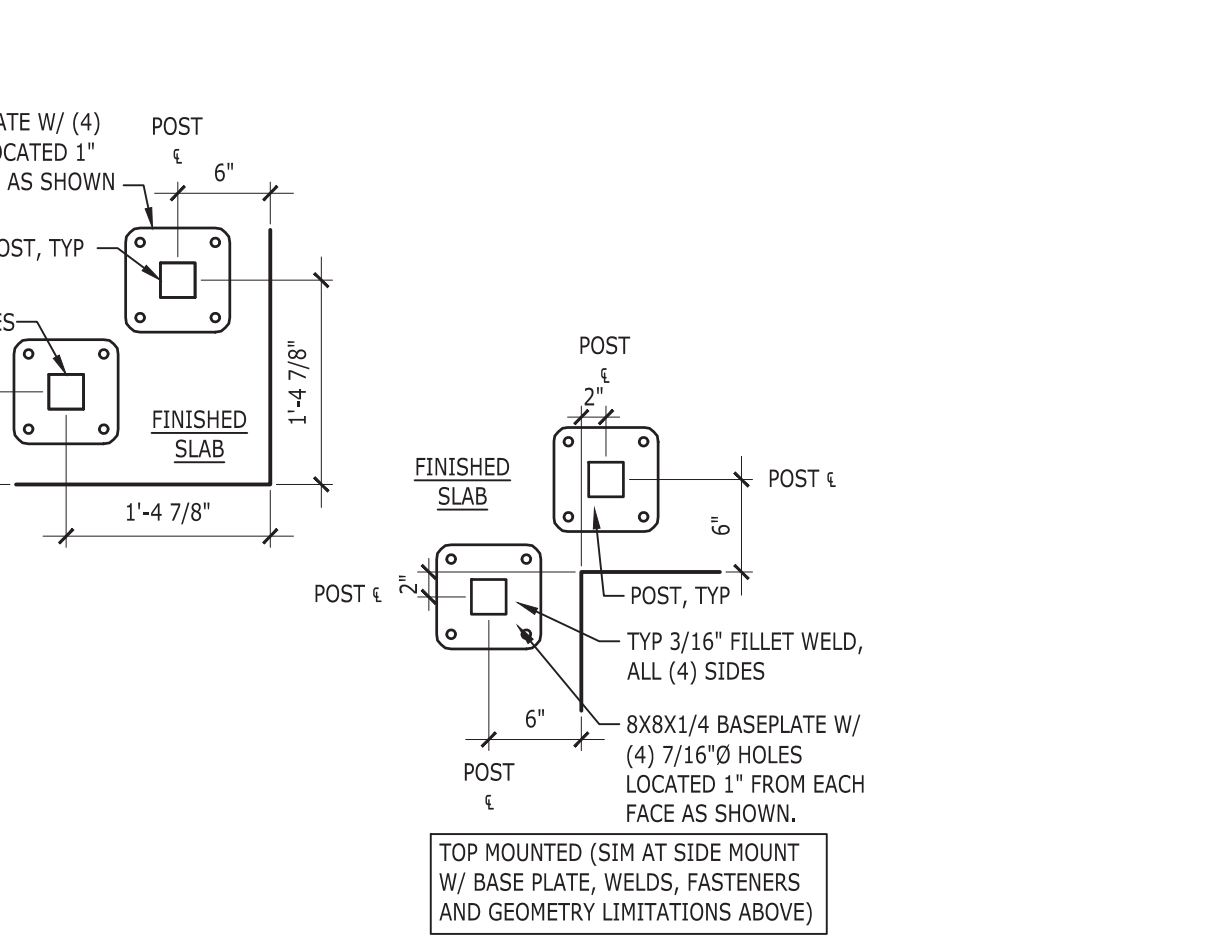
16 TYP END POST ELEVATION



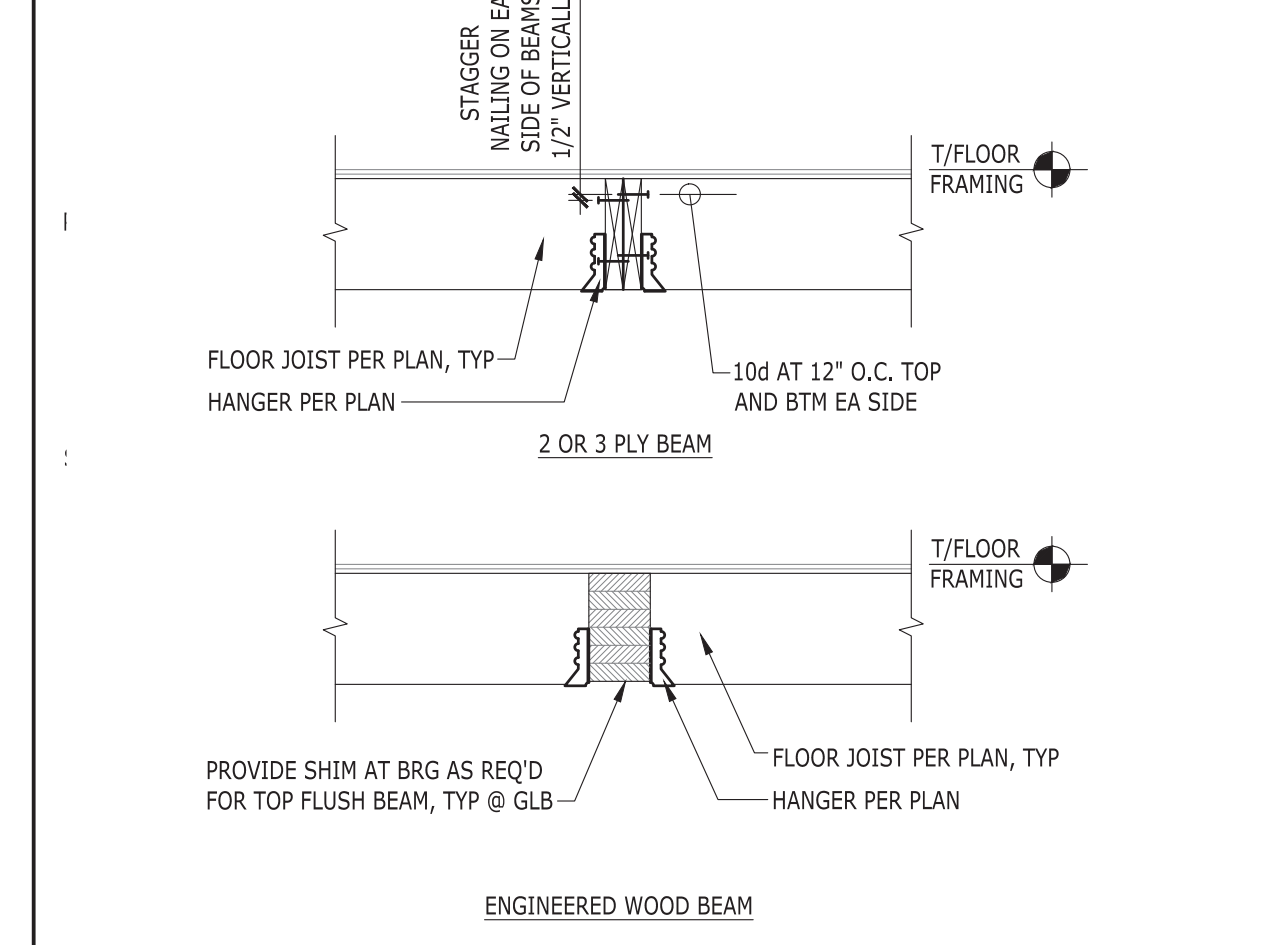
TYP INTERMEDIATE POST ELEVATION



TOP MOUNTED RAILING SECTION



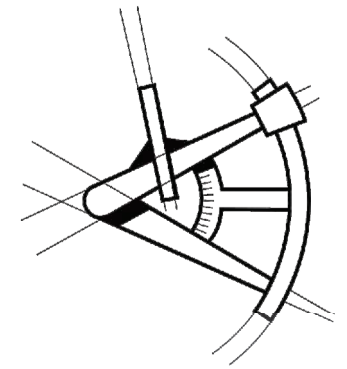
SIDE MOUNTED OPTION



BASE PLATE SECTION



LONGITUDE
ONE TWENTY
ENGINEERING & DESIGN



REVISIONS

DESCRIPTION	DATE	BY

PROJECT NAME
STOKKE RESIDENCE

PROJECT NUMBER
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DRAWN BY - MR

CHECKED BY - MRT

SHEET DATE - 3/3/2021

SCALE
24X36 SHEET: 1/4" = 1'-0"

STRUCTURAL DETAILS
SHEET SD-1